



**CITY COUNCIL REGULAR MEETING
MONDAY – SEPTEMBER 16TH, 2024, 6:00 PM
CITY HALL - COUNCIL CHAMBERS
2307 BARADA STREET
FALLS CITY, NE 68355**

Watch the meeting livestream at <https://www.youtube.com/@FallsCityNE/streams>

The City Council may vote to go into Closed Session on any agenda item as allowed by State Law.

ROUTINE BUSINESS

1. Announcement of Open Meetings Act
2. Roll Call
3. Pledge of Allegiance
4. Mayors Report
5. City Administrators Report
6. Chief of Police Report (Pg 3– 9)

CONSENT AGENDA

1. Minutes Approval for September 4, 2024
2. Agenda Approval
3. Claims Approval for August 17, 2024 through August 30, 2024
4. Treasurers Report
5. Consent Agenda

Any item listed on the Consent Agenda may, by the request of any single Council Member, be considered as a separate item under the Regular Agenda Section of the Agenda.

OLD BUSINESS

1. Discussion and Action – Final Reading of Ordinance 2024-100 to amend Section 6-317 Offenses; Discharge of Fireworks and Firecrackers (Pg 24– 27)

REGULAR BUSINESS

1. Public Hearing – Consider application to USDA Rural Development for financial assistance in the amount of \$12,361 for the purchase of router equipment and firewall (Pg 28)
2. Discussion – Presentation of Risk Management Pool by the League Association of Risk Management (LARM)
3. Discussion and Action – Resolution to accept and confirm infrastructure improvements for the Wilderness Falls III Development for Public Maintenance and Operation by the City of Falls City, NE (Pg 29– 53)
4. Discussion and Action – Authorization to execute a Developer Loan Application to the to the Southeast Nebraska Affordable Housing Council to construct a residential house at 1612 Fulton Street through the Rural Workforce Housing Fund as recommended by the Housing Board
(Pg 54– 151; Option 1– Pg 60, Option 2– Pg 94, Option 3– Pg 118)



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MONDAY – SEPTEMBER 16TH, 2024, 6:00 PM
CITY HALL - COUNCIL CHAMBERS
2307 BARADA STREET
FALLS CITY, NE 68355

ADJOURNMENT

Anthony Nussbaum, City Clerk

INCIDENT CODE: * - All

USER: * - All
GROUP: * - All
PRIORITY: * - All
TYPE: * - All

DATES: 8/01/2024 THRU 8/31/2024

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	NEW INCIDENTS	CLOSED	VOIDED	ACTIVE AT 8/31/2024
INCIDENT CODE: 6-218	1	1	0	0
INCIDENT CODE: 6-321	14	8	1	5
INCIDENT CODE: 6-333	2	0	0	2
INCIDENT CODE: 8-204	1	1	0	0
INCIDENT CODE: 8-514	1	0	0	1
INCIDENT CODE: PERMIT INSPECTION	168	167	0	1
TOTALS	187	177	1	9

INCIDENT CODE LEGEND

Code	Description
6-105	Dogs & Cats Unlicensed
6-106	Dogs & Cats Nuisance
6-110	Dangerous Dog
6-111	Dangerous Dog Restrained
6-112	Dangerous Dog Requirements
6-113	Dangerous Dog Failure to Comply
6-203	Animals at Large
6-204	Animals: Pasturing , Stabling, Livestock, Permits
6-205	Animals: Cruelty: Unattended Vehicles
6-207	Fowls Running At Large
6-209	Animals: Dangerous Animals Prohibited
6-214	Animals: Abatement, Neglect, Cruelty
6-215	Animals: Killing, Injuring, And Capturing Animals Unlawful
6-218	Nuisances: Dogs
6-321	Offenses: Weeds, Litter, Stagnant Water
6-322	Offenses: Diseased Or Dying Trees
6-324	Offences: Appliances In Yard
6-327	Offenses: Maintaining A Nuisances
6-333	Keeping Of Unregistered, Wrecked, Or Junk Vehicles
6-401	Nuisance: Generally Defined
6-402	Nuisances: Specifically Defined
7-218	Fire Prevention: Fires Prohibited And Allowed
8-203	Sidewalks Overhanging Branches
8-204	Sidewalks Kept Clean
8-514	Trees: Clearance Over Street, Alleys, And Sidewalks
9-1004	Registration of Vacant Properties
9-402	Housing Code: Swimming Pools

FCPD Monthly Report - August 2024

	<u>MONTH</u>	<u>YEAR</u>	<u>CALLS FOR SERVICE</u>	<u>MONTH</u>	<u>YEAR</u>
ARRESTS					
Felony	1	21	911 Hangup/Misdial	23	223
Misdemeanor	19	234	Animal Call	36	245
City Ordinance	4	35	Accident	11	56
Total:	24	290	Alarm	1	29
			Ambulance	58	570
TRAFFIC					
Citations	47	333	Assault	2	9
Warnings	58	282	Burglary	1	1
Total:	105	615	Burn Permit	11	242
			Civil Standby	0	0
PARKING					
Citations	4	85	Curfew	0	1
Warnings	0	4	Welfare Check	10	91
Total:	4	89	Domestic Disturbance	3	29
			Disturbance	6	59
OTHER					
Warnings	2	25	Escort	0	2
			Fire Call	1	68
			Found or Lost Property	5	54
			Fingerprints	1	8
			Fraud	4	7
			Gun Permit	2	44
			HHS Intake	10	98
			House Watch	1	8
			Investigation	6	54
			Information Only	22	149
			Law Enforcement Assist	3	18
			Loitering	0	7
			Motorist Assist	5	58
			Missing Person/Juvenile	2	10
			Miscellaneous	45	458
			Noise Disturbance	7	67
			Nuisance	5	183
			Open Door	2	5
			Parking Complaint	6	40
			Phone Scam	0	17
			Referral	37	268
			Records Check	14	107
			Runaway	0	1
			Suspicious Person/Vehicle	10	68
			Theft	4	42
			Traffic/Driving Complaint	7	78
			Trespassing	1	22
			Truancy	0	1
			Vandalism	1	18
			Vehicle Repossession	2	3
			Warrant Arrest	4	21
			Weather Notification	1	42

Jamie Baker

Reported by Marci Ankrom

Falls City Police Department

Crimes and Clearance Rate

Part I Crimes

Date: AUGUST 2024

Number and Disposition of Offenses Known to the Police

UNIFORM CLASSIFICATION OF OFFENSES	OFFENSES KNOWN TO THE POLICE					OFFENSES CLEARED		
PART I	REPORTED OR KNOWN THIS MO.	UNFOUNDED	ACTUAL OFFENSES THIS MO.	ACTUAL THIS YR TO-DATE	ACTUAL LAST YR TO-DATE	THIS MONTH	THIS YEAR TO-DATE	LAST YEAR TO-DATE
1. Criminal Homicide								
2. Rape				2	4		2	4
3. Robbery								
Armed – any weapon								
Strong arm – no weapon								
4. Assault				3	1		3	1
5. Burglary				6			6	
Forcible Entry					2			2
Unlawful entry – no force				4			4	
Attempted forcible entry								
6. Thefts								
Pocket picking								
Purse snatching								
Shoplifting	1		1	47	57		47	57
Thefts from auto				1	1	1	1	1
Thefts of auto parts & acc.					2			2
Thefts of bicycles					1			1
Thefts from buildings								
Thefts from coin operated machine								
All other thefts	1		1	6	8		6	8
7. Motor vehicle theft				5			5	
Autos					3			3
Trucks and buses								
Other vehicles								
8. Arson								
Total	2		2	74	79	1	74	79

PART I % CLEARED 50% 100% 100%

Falls City Police Department

Crimes and Clearance Rate

Part II Crimes

Date: AUGUST 2024

Number and Disposition of Offenses Known to the Police

UNIFORM CLASSIFICATION OF OFFENSES	OFFENSES KNOWN TO THE POLICE					OFFENSES CLEARED		
PART II	REPORTED OR KNOWN THIS MO.	UNFOUNDED	ACTUAL OFFENSES THIS MO.	ACTUAL THIS YR TO-DATE	ACTUAL LAST YR TO-DATE	THIS MONTH	THIS YEAR TO-DATE	LAST YEAR TO-DATE
1. Other Assaults	2		2	46	21	2	46	21
2. Forgery & Counterfeiting								
3. Fraud	1		1	2	1	1	2	1
4. Embezzlement								
5. Stolen Property								
6. Vandalism				14	8		11	7
7. Weapons-Possession								
8. Prostitution								
9. Other Sex Offenses	4		4	15	44	4	15	44
10. Narcotics Laws				28	13		28	13
11. Gambling Laws								
12. Offenses Against Family	7		7	41	50	7	41	50
13. Driving Under Influence				1	4		1	4
14. Liquor Laws				7	1		7	1
15. Disorderly Conduct				11	15		11	15
16. All Other Offenses	19		19	129	107	19	129	107
%TOTAL	33		33	294	264	33	291	263
PART I&II TOTAL	35		35	368	343	34	365	342

	Part II % Cleared	100%	99%	99%
Combined Total	Part I & II % Cleared	97%	99%	99%



Jamie Baker
Chief of Police

Falls City Police Department

2307 Barada Street
Falls City, NE 68355

Phone: 402-245-4422
Fax: 402-245-6002
Email: fcpd@fallscityne.us

SEPTEMBER 3, 2024

THE FALLS CITY POLICE DEPARTMENT PARTICIPATED IN THE "DRIVE SOBER OR GET PULLED OVER" MOBILIZATION FROM AUGUST 16, 2024, THROUGH SEPTEMBER 2, 2024. DURING THIS TIME OFFICERS CONDUCTED 95 TRAFFIC STOPS WITH 55 CITATIONS AND 37 WARNINGS BEING ISSUED.

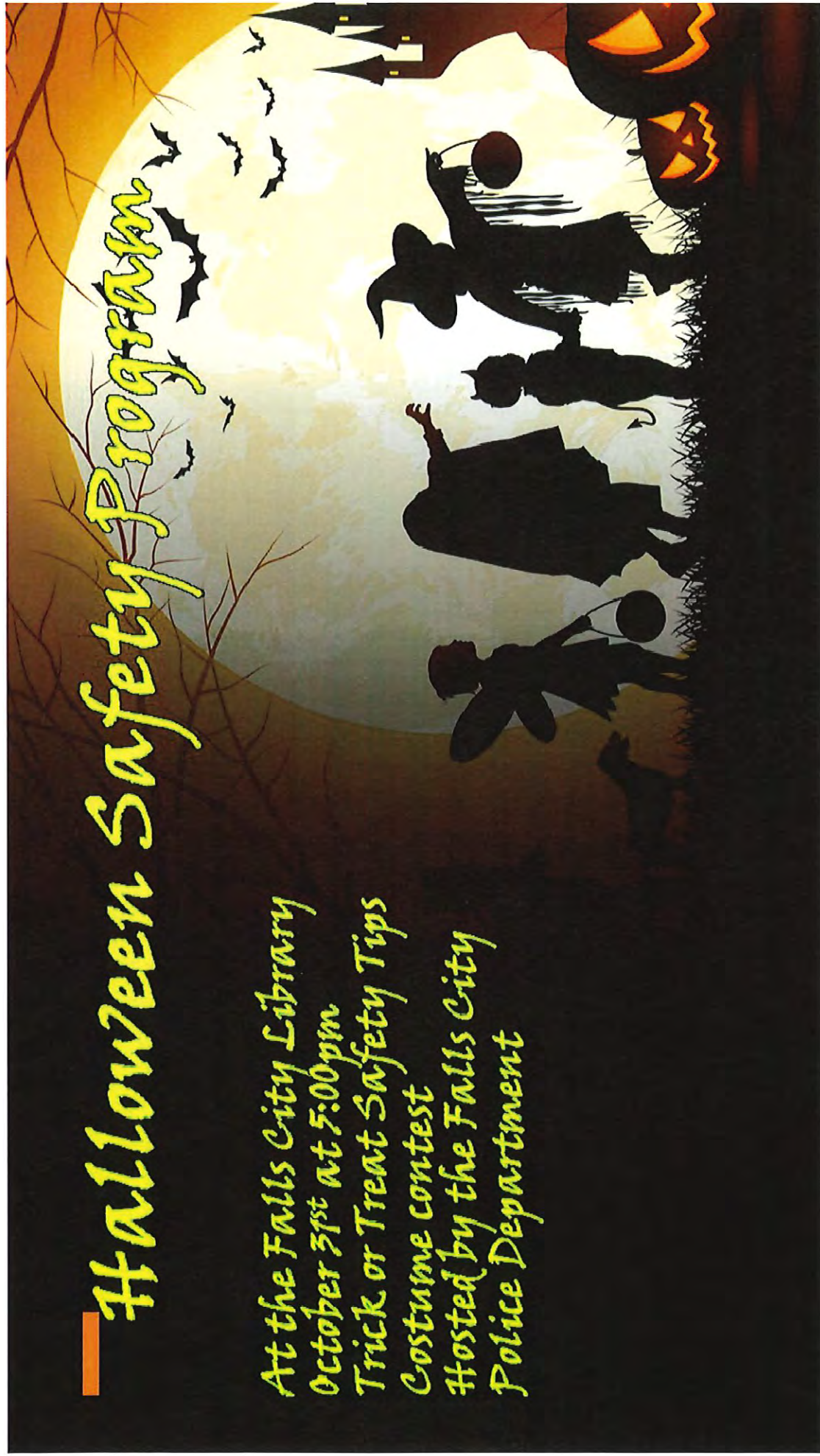
BEYOND THE TICKET ACTIVITY, INCLUDES FALLS CITY OFFICERS ANSWERING 183 CALLS FOR SERVICE INCLUDING 4 ACCIDENTS. ADDITIONALLY, OFFICERS ARRESTED 5 FUGITIVES FROM JUSTICE. OTHER INVESTIGATIONS CONDUCTED INCLUDED ASSAULTS, DISTURBANCES, THEFTS, SHOPLIFTING, CHILD NEGLECT, POSSESSION OF CONTROLLED DANGEROUS SUBSTANCES AND POSSESSION OF AND DISTRIBUTION OF CHILD PORNOGRAPHY.

FALLS CITY POLICE OFFICERS WORKED 56 HOURS OF OVERTIME DURING THE MOBILIZATION PERIOD. THE COST OF THE OVERTIME WAS FUNDED THROUGH A GRANT PROVIDED BY THE NEBRASKA DEPARTMENT OF TRANSPORTATION, HIGHWAY SAFETY TRAFFIC OFFICE.

THE FALLS CITY POLICE DEPARTMENT WOULD LIKE TO THANK THE CITIZENS OF FALLS CITY AND ALL OF OUR COMMUNITY PARTNERS FOR THEIR CONTINUED SUPPORT. WE ENCOURAGE ALL DRIVERS TO DRIVE SAFELY, DON'T DRINK AND DRIVE AND REMEMBER, BUCKLE UP EVERY TRIP, EVERY TIME.

Halloween Safety Program

At the Falls City Library
October 31st at 5:00pm
Trick or Treat Safety Tips
Costume contest
Hosted by the Falls City
Police Department



September 4, 2024

A meeting of the City Council of the City of Falls City, Nebraska, was held in said City on the 4th day of September 2024, at 6:00 o' clock P.M. Council met in regular session. Mayor Harkendorff called the meeting to order and Clerk Nussbaum recorded the minutes of the meeting. On roll call the following Council persons were present: Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. Absent: None. Notice of the meeting was given in advance thereof by posting in three public places, a designated method for giving notice as shown by the Certificate of Posting Notice attached to these minutes. Notice of this meeting was given to the mayor and all persons of the Council and a copy of their acknowledgment of receipt of notice and the agenda is attached to the minutes. Availability of the agenda was communicated in the advance notice and in the notice to the Mayor and Council of this meeting. All proceedings hereafter shown were taken while the convened meeting was open to the attendance of the public. Mayor Harkendorff publicly stated to all in attendance that a current copy of the Nebraska Open Meetings Act was available for review and indicated the location of such copy posted in the room where the meeting was being held.

CONSENT AGENDA

A motion was made by Council person Leyden and seconded by Council person Ferguson to approve the Consent Agenda as follows: *WHEREAS*, certain business of the City Council (Council) of the City of Falls City (City) transpires on a regular and routine basis or is not of controversial nature; and *WHEREAS*, roll call votes on each individual issue greatly extend the meeting time. *NOW, THEREFORE, BE IT HEREBY RESOLVED* BY the City Council that in the interest of economizing time, yet complying with the Public Meeting Laws of the State of Nebraska, which require roll call voting, the following issues are hereby consolidated in this Consent Agenda: 1. *BE IT FURTHER RESOLVED* BY the Council that the minutes from the August 19, 2024, regular meeting are hereby approved. 2. *BE IT FURTHER RESOLVED* BY the Council that the agenda for September 4, 2024, is hereby approved. 3. *BE IT FURTHER RESOLVED* BY the Council that the August 3 through August 16, 2024, Claims are hereby approved. 4. *BE IT FURTHER RESOLVED* BY the Council that the Consent Agenda for September 4, 2024, is hereby approved. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

2nd READING: ORDINANCE 2024-100 TO AMEND SECTION 6-317 OFFENSES; DISCHARGE OF FIREWORKS AND FIRECREACKERS

A motion was made by Council person Ferguson and seconded by Council person Ractliffe to accept the 2nd reading as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

RESOLUTION RESCINDING RESOLUTION 2024-R105 AND AUTHORIZING THE SUBMITTAL OF A TERMINATION LETTER REGARDING THE MEMORANDUM OF UNDERSTANDING WITH RICHARDSON COUNTY, NE FOR THE TRANSFER OF 911 CALLS TO A SECONDARY PUBLIC SAFETY ANSWERING POINT (PSAP)

A motion was made by Council person Buckminster and seconded by Council person Ferguson to adopt the resolution as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

PUBLIC HEARING – CONSIDER APPLICATION IN THE AMOUNT OF \$480,000 TO THE NEBRASKA DEPARTMENT OF ECONOMIC DEVELOPMENT (NDED) FOR A COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PUBLIC WORKS APPLICATION TO ADDRESS SEWER IMPROVEMENTS

Mayor Harkendorff declared a public hearing open at 6:10 P.M. Mayor Harkendorff then asked if there was anyone in the audience who wished to speak in favor or opposition. Nussbaum presented the proposed project. Due to the city entering into an agreement with Miller and Associates prior to CDBG application, the city will be paying for engineering costs (later to be discussed) thus reducing the grant award request from \$480,000 to \$458,000. With

that reduction and change in scope, the city will be providing a match of \$107,000."There was no public comment. Mayor Harkendorff then declared the public hearing closed at 6:14 P.M.

RESOLUTION EXECUTING THE PUBLIC WORKS APPLICATION AND ANY OTHER DOCUMENTS NECESSARY FOR THE NEBRASKA DEPARTMENT OF ECONOMIC DEVELOPMENT COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM WITHIN THE CITY

A motion was made by Council person Ferguson and seconded by Council person Rhodd to adopt the resolution as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

AUTHORIZE EXECUTION OF THE ENGINEERING SERVICES AGREEMENT WITH MILLER & ASSOCIATES TOTALING \$70,500.00 FOR THE SANITARY SEWER REHABILITATION & IMPROVEMENTS – PHASE II PROJECT

A motion was made by Council person Ferguson and seconded by Council person Leyden to authorize execution of the agreement as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

REQUEST TO APPROVE AN ADDITIONAL 1% ALLOWABLE GROWTH PERCENTAGE TO THE RESTRICTED FUNDS AUTHORITY FOR FISCAL YEAR 2024/2025

A motion was made by Council person Ferguson and seconded by Council person Wisdom to adopt the resolution as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

AUTHORIZATION TO EXECUTE AN AGREEMENT FOR SAFETY MANAGEMENT SERVICES WITH KANSAS MUNICIPAL UTILITIES

A motion was made by Council person Ractliffe and seconded by Council person Buckminster to authorize execution of the agreement as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

REQUEST FOR A SPECIAL DESIGNATED LIQUOR LICENSE AT PRICHARD AUDITORIUM ON NOVEMBER 9, 2024, FOR THE ANNUAL QUARTER AUCTION

A motion was made by Council person Leyden and seconded by Council person Ractliffe to approve the request as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

REQUEST FOR A SOLICITATION OF VENDORS AND SPONSORS FOR THE FISCAL YEAR 2024/2025 COMMUNITY CLEAN-UP EVENTS|FALLS CITY CHAMBER OF COMMERCE & MAIN STREET

A motion was made by Council person Ferguson and seconded by Council person Fouraker to approve the solicitation as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

RESOLUTION AUTHORIZING CITY TO ASSESS UNPAID VACANT PROPERTY REGISTRATION FEES TOTALING \$750.00 FOR THE PROPERTY AT 906 STONE STREET

A motion was made by Council person Holle and seconded by Council person Ractliffe to adopt the resolution as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

**RESOLUTION AUTHORIZING CITY TO ASSESS UNPAID VACANT PROPERTY REGISTRATION FEES TOTALING
\$750.00 FOR THE PROPERTY AT 1701 WILSON STREET**

A motion was made by Council person Leyden and seconded by Council person Ractliffe to adopt the resolution as presented. Roll was called on this motion and the Council persons voted as follows: "YEA" Buckminster, Ferguson, Fouraker, Holle, Leyden, Ractliffe, Rhodd, Wisdom. "NAY" None. "ABSENT" None. Motion carried.

**RESOLUTION AUTHORIZING CITY TO ASSESS UNPAID VACANT PROPERTY REGISTRATION FEES TOTALING
\$750.00 FOR THE PROPERTY AT 1024 CHASE STREET**

The item died for a lack of motion.

**RESOLUTION AUTHORIZING CITY TO ASSESS UNPAID VACANT PROPERTY REGISTRATION FEES TOTALING
\$750.00 FOR THE PROPERTY AT 2022 CROOK STREET**

The item died for a lack of motion.

THERE BEING NO FURTHER BUSINESS, THE MEETING WAS ADJOURNED AT 6:29pm

I, the undersigned, City Clerk for the City of Falls City, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by Mayor Harkendorff and Council on September 4, 2024; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and available for public inspection at the office of the City Clerk; that such agenda items were sufficiently descriptive to give the public reasonable notice of the matters to be considered at the meeting; that such subjects were contained in said agenda for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by persons of the public; that the said minutes from which the foregoing proceedings have been extracted were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting; and that a current copy of the Nebraska Open Meetings Act was available and accessible to persons of the public, posted during such meeting in the room in which such meeting was held.

(SEAL)

CITY CLERK

CITY CLERK

MAYOR



City of Falls City, NE

Expense Approval Report

By Fund

Payment Dates 8/17/2024 - 8/30/2024

Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Fund: 100 - General					
Ramaker & Associates Inc	130289	08/30/2024	system support	100-01-11-52199	500.00
Quill Corporation	39208749	08/30/2024	label tape	100-01-11-52372	37.99
Southeast Nebraska Develop	2425-147-3	08/30/2024	housing dues	100-06-11-52172	1,240.00
Southeast Nebraska Develop	2425-147-3	08/30/2024	membership dues	100-06-11-52172	2,125.00
Tyler Technologies Inc	045-478738	08/30/2024	service-parks & rec	100-01-11-52195	1,740.00
Tyler Technologies Inc	045-480011	08/30/2024	service-parks & rec	100-01-11-52195	580.00
Pro-Serv	273869	08/30/2024	c4500	100-01-11-52118	273.50
Golden Shovel	inv-20242330	08/30/2024	oct 2024-mar 2025	100-01-11-52147	1,320.00
AMERITAS BILLING	INV04211	08/23/2024	457 Pre Tax Percentage	100-01-00-21151	175.66
Aflac	INV04212	08/23/2024	AFLAC	100-01-00-21151	12.23
Aflac	INV04213	08/23/2024	AFLAC	100-01-00-21151	267.81
Aflac	INV04214	08/23/2024	AFLAC	100-01-00-21151	30.00
CWA Dues	INV04215	08/23/2024	CWA Union Dues	100-01-00-21151	50.46
Medica Insurance	INV04217	08/23/2024	Group Health	100-01-00-21151	18,962.01
IBEW Local Union #1536	INV04218	08/23/2024	IBEW Union Dues	100-01-00-21151	153.66
International Union of Operati	INV04219	08/23/2024	IUOE Union Dues	100-01-00-21151	149.70
Dearborn Life Insurance Com	INV04220	08/23/2024	Life Insurance	100-01-00-21151	266.19
Nebraska Child Support Paym	INV04221	08/23/2024	Child Support	100-01-00-21151	259.39
Nebraska Child Support Paym	INV04222	08/23/2024	Nebraska Child Support 2	100-01-00-21151	193.85
Nebraska Child Support Paym	INV04223	08/23/2024	Child Support	100-01-00-21151	204.01
Nebraska Dept of Revenue	INV04224	08/23/2024	Garnishment	100-01-00-21151	250.00
Ameritas	INV04226	08/23/2024	Pension 457 Pre-Tax	100-01-00-21151	30.00
Ameritas	INV04227	08/23/2024	Retirement 501a	100-01-00-21151	354.66
Ameritas	INV04228	08/23/2024	Retirement 501a	100-01-00-21151	315.64
Ameritas	INV04229	08/23/2024	Retirement 501a	100-01-00-21151	222.44
Ameritas	INV04230	08/23/2024	Retirement 501a	100-01-00-21151	252.86
Ameritas	INV04231	08/23/2024	Retirement 501a	100-01-00-21151	207.94
Ameritas	INV04232	08/23/2024	Retirement 501a	100-01-00-21151	222.44
Ameritas	INV04233	08/23/2024	Retirement 501a	100-01-00-21151	351.32
Ameritas	INV04234	08/23/2024	Retirement 501a	100-01-00-21151	229.44
Ameritas	INV04235	08/23/2024	Retirement 501a	100-01-00-21151	288.20
Ameritas	INV04236	08/23/2024	Retirement 501a	100-01-00-21151	379.98
Ameritas	INV04237	08/23/2024	Retirement 501a	100-01-00-21151	244.70
Ameritas	INV04238	08/23/2024	Retirement 501a	100-01-00-21151	259.76
Ameritas	INV04239	08/23/2024	Retirement 501a	100-01-00-21151	338.14
Ameritas	INV04240	08/23/2024	Retirement 501a	100-01-00-21151	15.26
Ameritas	INV04241	08/23/2024	Retirement 501a	100-01-00-21151	741.90
Ameritas	INV04242	08/23/2024	Retirement 501a	100-01-00-21151	208.10
Ameritas	INV04243	08/23/2024	Retirement 501a	100-01-00-21151	286.34
Ameritas	INV04244	08/23/2024	Retirement 501a	100-01-00-21151	199.92
Ameritas	INV04245	08/23/2024	Retirement 501a	100-01-00-21151	189.84
Ameritas	INV04246	08/23/2024	Retirement 501a	100-01-00-21151	320.38
Ameritas	INV04247	08/23/2024	Retirement 501a	100-01-00-21151	345.18
Ameritas	INV04248	08/23/2024	Retirement 501a	100-01-00-21151	326.94
Ameritas	INV04249	08/23/2024	Retirement 501a	100-01-00-21151	182.00
Ameritas	INV04250	08/23/2024	Retirement 501a	100-01-00-21151	165.70
Ameritas	INV04251	08/23/2024	Retirement 501a	100-01-00-21151	284.44
Ameritas	INV04252	08/23/2024	Retirement 501a	100-01-00-21151	219.94
Ameritas	INV04253	08/23/2024	Retirement 501a	100-01-00-21151	162.72
Ameritas	INV04254	08/23/2024	Retirement 501a	100-01-00-21151	288.42
Ameritas	INV04255	08/23/2024	Retirement 501a	100-01-00-21151	327.16
American National Bank	INV04256	08/23/2024	HSA	100-01-00-21151	100.00
American National Bank	INV04257	08/23/2024	HSA	100-01-00-21151	30.00

Expense Approval Report

Payment Dates: 8/17/2024 - 8/30/2024

Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
American National Bank	INV04258	08/23/2024	HSA	100-01-00-21151	100.00
American National Bank	INV04259	08/23/2024	HSA	100-01-00-21151	50.00
American National Bank	INV04260	08/23/2024	HSA	100-01-00-21151	100.00
American National Bank	INV04261	08/23/2024	HSA	100-01-00-21151	20.00
Ameritas	INV04262	08/23/2024	Retirement 501a	100-01-00-21151	372.86
Ameritas	INV04263	08/23/2024	Retirement 501a	100-01-00-21151	389.18
Ameritas	INV04264	08/23/2024	Retirement 501a	100-01-00-21151	359.14
Ameritas	INV04265	08/23/2024	Retirement 501a	100-01-00-21151	329.00
Ameritas	INV04266	08/23/2024	Retirement 501a	100-01-00-21151	370.36
Nebraska Department of Reve	INV04267	08/23/2024	State W/H Tax	100-01-00-21151	3,708.49
Department of the Treasury	INV04268	08/23/2024	Federal W/H	100-01-00-21151	7,899.88
Department of the Treasury	INV04269	08/23/2024	Medicare Tax	100-01-00-21151	2,846.48
Department of the Treasury	INV04270	08/23/2024	Social Security Tax	100-01-00-21151	12,170.98
Southeast Nebraska Communi	INV04356	08/30/2024	service	100-01-11-52011	615.57
Falls City Economic and Devel	INV04368	09/01/2024	CY 2024 Monthly Contributio	100-06-11-52172	10,613.00
Falls City Main Street, Inc.	INV04369	09/01/2024	Monthly Contribution (MOU 7	100-06-11-52172	2,500.00
Fund 100 - General Total:					79,328.16
Fund: 110 - Police					
Home Lumber Company	342529	08/30/2024	com select structure	110-02-21-52093	5.09
Home Lumber Company	342529	08/30/2024	greyflexx ins board	110-02-21-52093	15.99
Home Lumber Company	342529	08/30/2024	syp cdx ply-4ply	110-02-21-52093	14.00
Handley Law Office	INV04281	08/30/2024	attorney fees	110-02-21-52109	142.50
Das State Accounting - Center	1441910	08/30/2024	july 2024	110-02-21-52199	924.00
Pro-Serv	273869	08/30/2024	c3000	110-02-21-52118	273.50
Southeast Nebraska Communi	INV04356	08/30/2024	service	110-02-21-52011	1,159.55
Fund 110 - Police Total:					2,534.63
Fund: 115 - Animal Control					
Omaha Public Power District	INV04354	08/30/2024	service	115-02-23-52020	41.04
Fund 115 - Animal Control Total:					41.04
Fund: 120 - Fire					
Heiman Fire Equipment	0934328-in	08/30/2024	deluxe face mask storage bag	120-02-22-52420	154.80
Southeast Nebraska Communi	INV04356	08/30/2024	service	120-02-22-52011	127.35
Fund 120 - Fire Total:					282.15
Fund: 150 - Parks					
Johansen Drainage & Tile	INV04351	08/30/2024	service-city pool	150-05-51-52096	5,985.00
Carmen Beethe	INV04347	08/30/2024	refund	150-05-51-60000	200.00
Home Lumber Company	342133	07/05/2024	lumber	150-05-51-52429	5.79
Falls City Customs	143	08/30/2024	service	150-05-51-53515	1,860.00
Falls City Customs	143	08/30/2024	supplies	150-05-51-53515	1,693.55
Falls City Customs	143	08/30/2024	service	150-05-51-53515	1,086.78
Farm & City Supply	001412	08/30/2024	chlor ultimt granle 18lb	150-05-51-52300	269.97
Falls City Mercantile	226245	08/30/2024	concession food	150-05-51-52303	563.07
Mahaska/Pepsi	9302063	08/30/2024	concession items	150-05-51-52303	315.98
Doosan Bobcat North Americ	4007479	08/30/2024	supplies	150-05-51-53250	1,900.00
Doosan Bobcat North Americ	4007479	08/30/2024	supplies	150-05-51-53620	36,349.45
Farm & City Supply	001738	08/30/2024	autocut	150-05-51-52429	32.00
Farm & City Supply	001761	08/30/2024	armor all	150-05-51-52429	7.99
Farm & City Supply	001761	08/30/2024	mini diffuser	150-05-51-52429	4.59
Farm & City Supply	001762	08/30/2024	easy grip scrub brush	150-05-51-52429	13.98
Acco Unlimited Corporation	0245792-in	08/30/2024	chemicals	150-05-51-52300	630.00
Acco Unlimited Corporation	0245792-in	08/30/2024	chemicals	150-05-51-52300	2,088.00
Farm & City Supply	001818	08/30/2024	ace shvl	150-05-51-52093	29.99
Farm & City Supply	001818	08/30/2024	roof patch	150-05-51-52093	7.99
Farm & City Supply	001892	08/30/2024	ass y-lance 1/4 tube zinc plat	150-05-51-52429	33.99
Farm & City Supply	001892	08/30/2024	high pressure hose	150-05-51-52429	47.09
Farm & City Supply	001892	08/30/2024	thread seal tpe	150-05-51-52429	1.39
Farm & City Supply	001892	08/30/2024	pw gun & wand	150-05-51-52429	49.99
Farm & City Supply	001892	08/30/2024	male screw nipple m22m	150-05-51-52429	6.59
Sharon Comer	INV04348	08/30/2024	refund	150-05-51-60000	50.00

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Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Dollar Fresh	INV04349	08/30/2024	pine sol	150-05-51-52429	10.73
Farm & City Supply	002197	08/30/2024	alkline 9v battery	150-05-51-52093	8.59
Farm & City Supply	002197	08/30/2024	digital multimeter 4func	150-05-51-52093	31.99
Farm & City Supply	002239	08/30/2024	mnl sphn pmp krs brn htr	150-05-51-52429	9.59
Farm & City Supply	002239	08/30/2024	led a19 e26 ww 15w 6pk	150-05-51-52429	21.99
Mary's Appliance	9000007203	08/30/2024	chest freezer	150-05-51-52420	521.00
Mary's Appliance	9000007203	08/30/2024	fridge	150-05-51-52420	699.00
Mary's Appliance	9000007203	08/30/2024	freezer	150-05-51-52420	701.00
Farm & City Supply	002407	08/30/2024	tordon rtu 1qt	150-05-51-52429	23.99
Amazon Capital Services	1C7R-J6X6-HDTW	08/19/2024	EZ twist 1 5/8" 9 gauge ties (1	150-05-51-52093	113.00
Amazon Capital Services	1C7R-J6X6-HDTW	08/19/2024	EZ twist 2" 9 gauge ties (100 p	150-05-51-52093	117.00
Amazon Capital Services	1C7R-J6X6-HDTW	08/19/2024	heavy duty top rail tool	150-05-51-52420	65.99
Johansen Drainage & Tile	INV04350	08/30/2024	service - city pool	150-05-51-52096	990.00
Amazon Capital Services	1C4G-LHNV-MMD7	08/19/2024	EZ twist 9 gauge drill tool	150-05-51-52420	112.72
Amazon Capital Services	1C4G-LHNV-MMD7	08/19/2024	chain link banana clips (5 pk)	150-05-51-52420	154.53
Farm & City Supply	002588	08/30/2024	ballast	150-05-51-52093	31.99
Fund 150 - Parks Total:					56,846.29
Fund: 151 - Auditorim					
Falls City Mercantile	226096	08/30/2024	urinal block	151-05-51-52429	13.79
Falls City Mercantile	226096	08/30/2024	centerpull paper towels	151-05-51-52429	53.13
Falls City Mercantile	226096	08/30/2024	toilet tissue	151-05-51-52429	51.31
Meyer Home Center	548037	08/30/2024	20 X 25 X 2 FILTERS	151-05-51-52093	55.62
Meyer Home Center	548037	08/30/2024	20 X 20 X 2 FILTERS	151-05-51-52093	210.60
Amazon Capital Services	16xw-qkju-1c7v	08/30/2024	steel fence ties	151-05-51-52093	119.96
Southeast Nebraska Communi	INV04356	08/30/2024	service	151-05-51-52011	157.55
Southeast Nebraska Communi	INV04356	08/30/2024	service	151-05-51-52011	-62.06
Fund 151 - Auditorim Total:					599.90
Fund: 170 - Library					
True Value Hardware	54678	08/30/2024	supplies	170-05-52-52429	10.99
Wolfes Printing	2507	08/30/2024	pm328 calendar	170-05-52-52372	30.00
Wolfes Printing	2507	08/30/2024	e919 refills	170-05-52-52372	42.00
Wolfes Printing	2507	08/30/2024	tape refill	170-05-52-52372	17.95
Wolfes Printing	2507	08/30/2024	#90 cardstock	170-05-52-52372	23.21
Wolfes Printing	2507	08/30/2024	8 person book planner	170-05-52-52372	85.00
Falls City Mercantile	226827	08/03/2024	paper towels	170-05-52-52429	42.35
Falls City Mercantile	226827	08/03/2024	kleenex	170-05-52-52429	76.39
Falls City Mercantile	226827	08/03/2024	paper towels	170-05-52-52429	47.32
Falls City Mercantile	226827	08/03/2024	toilet cleaner	170-05-52-52429	18.15
Southeast Nebraska Communi	INV04355	08/30/2024	service	170-05-52-52011	224.58
Fund 170 - Library Total:					617.94
Fund: 180 - Cemetery					
Home Lumber Company	342987	08/30/2024	u mix concrete	180-05-53-52093	27.45
True Value Hardware	54728	08/30/2024	wasp spray	180-05-53-52429	13.98
True Value Hardware	54729	08/30/2024	wasp spray	180-05-53-52429	13.98
Farm & City Supply	001627	08/30/2024	screws	180-05-53-52014	1.19
Farm & City Supply	001633	08/30/2024	screws	180-05-53-52014	1.19
Farm & City Supply	001635	08/30/2024	credit - screws	180-05-53-52014	-1.19
Southeast Nebraska Communi	INV04356	08/30/2024	service	180-05-53-52011	98.90
Fund 180 - Cemetery Total:					155.50
Fund: 190 - Streets					
Barco Municipal Products Inc	IN-249811	08/19/2024	traffice delineator - C42-2682-	190-03-31-53531	682.82
Barco Municipal Products Inc	IN-249811	08/19/2024	28" traffic cones 28PVRC-O-BL	190-03-31-53531	1,059.31
Farm & City Supply	001596	08/30/2024	tape measur fatmax	190-03-31-52429	75.98
Farm & City Supply	001596	08/30/2024	float magnesium	190-03-31-52429	41.99
Farm & City Supply	001596	08/30/2024	masking tape	190-03-31-52429	14.97
Farm & City Supply	001596	08/30/2024	twist nyln line	190-03-31-52429	9.99
Farm & City Supply	001596	08/30/2024	ace pencil	190-03-31-52429	2.97
Doosan Bobcat North Americ	4007479	08/30/2024	supplies	190-03-31-53250	5,397.52
Doosan Bobcat North Americ	4007479	08/30/2024	supplies	190-03-31-53620	36,349.45

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Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Constructors Inc	app 2	08/30/2024	project 021-09057	190-03-31-53520	99,600.70
Falls City Mercantile	226459	08/30/2024	paper towels	190-03-31-52429	84.70
Desert Diamond Industries LL	INV-006852	08/19/2024	concrete blades - 24"	190-03-31-52429	1,355.61
Desert Diamond Industries LL	INV-006852	08/19/2024	14" concrete blades	190-03-31-52429	594.39
Farm & City Supply	001881	08/30/2024	aa alkaline battery	190-03-31-52429	17.99
Falls City Mercantile	226526	08/30/2024	toilet tissue	190-03-31-52429	74.59
Farm & City Supply	002092	08/30/2024	garden sprayer 2 gal	190-03-31-52429	21.99
Farm & City Supply	002092	08/30/2024	tank & pump clener/neutrizer	190-03-31-52429	26.99
Farm & City Supply	002092	08/30/2024	backpack sprayer 4gl	190-03-31-52429	104.99
Farm & City Supply	002110	08/30/2024	grade 5 bolts, nuts washers	190-03-31-52429	0.16
Farm & City Supply	002110	08/30/2024	boly eye w/ nuts	190-03-31-52429	3.18
Farm & City Supply	002110	08/30/2024	bolt snap	190-03-31-52429	7.98
Farm & City Supply	002110	08/30/2024	chain strt coil	190-03-31-52429	72.52
Farm & City Supply	002208	08/19/2024	cement saw cart #4224-710-1	190-03-31-52420	369.00
Farm & City Supply	002208	08/19/2024	water tank #4224-007-1009	190-03-31-52420	160.00
Farm & City Supply	002208	08/19/2024	mounting kit #4224-790-0705	190-03-31-52420	155.00
Farm & City Supply	002208	08/19/2024	guide arm #4205-007-1009	190-03-31-52420	50.00
Farm & City Supply	002274	08/30/2024	straight jaw pliers	190-03-31-52429	18.99
Farm & City Supply	002274	08/30/2024	click & flame lighter	190-03-31-52429	8.00
Southeast Nebraska Communi	INV04356	08/30/2024	service	190-03-31-52011	51.05
Fund 190 - Streets Total:					146,412.83
Fund: 195 - Mechanic Shop					
Farm & City Supply	001555	08/30/2024	dbl eye spring 175lb 4 leaf	195-03-66-52330	119.98
Falls City Auto Supply	71166	08/30/2024	brakleen	195-03-66-52429	83.40
Falls City Auto Supply	71166	08/30/2024	long life	195-03-66-52429	11.99
Fund 195 - Mechanic Shop Total:					215.37
Fund: 210 - Solid Waste					
Doosan Bobcat North Americ	4007479	08/30/2024	supplies	210-03-00-53250	9,428.56
Fund 210 - Solid Waste Total:					9,428.56
Fund: 240 - CDBG - Owner-Occupier Rehabilitation Program					
Henning Carpentry	INV04352	08/30/2024	project 021	240-06-00-52901	1,900.00
Henning Carpentry	INV04352	08/30/2024	project #022	240-06-00-52901	12,499.00
Henning Carpentry	INV04352	08/30/2024	service	240-06-00-52901	4,100.00
MIT Contracting	INV04353	08/30/2024	project #014	240-06-00-52901	6,597.28
MIT Contracting	INV04353	08/30/2024	project #018	240-06-00-52901	24,999.00
Southeast Nebraska Develop	inv 27-29 33-35	08/30/2024	service	240-06-00-52103	8,301.25
Fund 240 - CDBG - Owner-Occupier Rehabilitation Program Total:					58,396.53
Fund: 280 - Housing Abatement/Demolition Program					
Gerdes Lawn Care LLC	3	08/30/2024	service	280-06-23-52199	173.18
Bockmann Inc	20240253-1	08/30/2024	asbestos removal	280-06-23-52175	1,440.00
Bockmann Inc	20240254-1	08/30/2024	asbestos removal	280-06-23-52175	960.00
Bockmann Inc	20240255-1	08/30/2024	1515 Lane St	280-06-23-52175	2,400.00
RJP Environmental Services, L	INV04326	08/30/2024	923 east 12th	280-06-23-52175	323.00
RJP Environmental Services, L	INV04327	08/30/2024	inspections	280-06-23-52175	150.00
Fund 280 - Housing Abatement/Demolition Program Total:					5,446.18
Fund: 600 - Electric					
Healy Law Offices, LLC	22050	08/30/2024	service	600-07-00-52109	680.00
Municipal Energy Agency of N	306120	08/30/2024	service	600-07-00-52303	217,472.78
O'Reilly Automotive Inc	5895-209190	08/30/2024	butt splice	600-07-61-52094	15.98
GRAYBAR	9338221866	08/19/2024	Phoenix contact	600-07-62-52094	434.31
Wolfes Printing	2497	08/30/2024	lead	600-07-62-52372	4.28
Wolfes Printing	2497	08/30/2024	pencils	600-07-62-52372	13.51
Farm & City Supply	001382	08/30/2024	sd62 rotary hand pump stan d	600-07-62-52420	53.74
Farm & City Supply	001551	08/30/2024	shower tube/tile cleaner	600-07-62-52429	10.74
Farm & City Supply	001551	08/30/2024	armor all wipes	600-07-62-52429	8.59
Amazon Capital Services	11cc-rdyn-4drv	08/30/2024	hdmi connector	600-07-62-52094	25.98
Amazon Capital Services	1qf7-c94c-3j7j	08/30/2024	credit-hdmi cable	600-07-62-52094	-11.16
Kawres	21975	08/30/2024	headphones	600-07-62-52372	4.50
Farm & City Supply	001722	08/30/2024	battery rechrg aa 4pk	600-07-62-52429	19.34

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Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Farm & City Supply	001760	08/30/2024	grease gun	600-07-62-52420	56.96
Farm & City Supply	001822	08/30/2024	term rng ins12-10g8-10sd	600-07-62-52420	34.38
Farm & City Supply	001822	08/30/2024	screws	600-07-62-52420	10.28
Kawres	21979	08/30/2024	sabrent 3 port usb 3.0 hub w/	600-07-62-52195	37.62
Kawres	21979	08/30/2024	8gb usb 2.0 flash drive	600-07-62-52195	5.38
Amazon Capital Services	1LCM-DYDY-HWND	08/19/2024	heat shrink wire & cable label	600-07-62-52429	58.64
Amazon Capital Services	1LCM-DYDY-HWND	08/19/2024	Heat shrink wire & cable labe	600-07-62-52429	67.25
Amazon Capital Services	1mym-kmdj-kdx1	08/30/2024	hdmi cable	600-07-62-52094	14.98
Amazon Capital Services	114r-lpw994y	08/30/2024	12pk plastic beaker	600-07-62-52429	14.99
Husker Electric Supply	53785	08/19/2024	T8-4' Fluorescent Lamps (E99	600-07-00-10500	69.98
Husker Electric Supply	53785	08/19/2024	#6 SD CU wire tie 25#/315' (E	600-07-00-10500	365.04
Husker Electric Supply	53785	08/19/2024	Male Adapter-2" SCH 40 PVC (600-07-00-10500	10.54
Falls City Auto Supply	71268	08/30/2024	non det 30	600-07-62-52094	55.08
Farm & City Supply	002200	08/30/2024	union black grnd jnt3/4"	600-07-62-52420	16.11
Farm & City Supply	002200	08/30/2024	nipple black 3/4x6	600-07-62-52420	9.87
Wolfes Printing	2575	08/30/2024	toner	600-07-61-52372	48.54
Falls City Auto Supply	71289	08/30/2024	non det 30	600-07-62-52094	-55.08
Falls City Auto Supply	71290	08/30/2024	non det 30	600-07-62-52094	59.21
Farm & City Supply	002247	08/30/2024	supplies	600-07-62-52429	10.99
Farm & City Supply	002247	08/30/2024	supplies	600-07-62-52429	2.49
Farm & City Supply	002324	08/19/2024	Milwaukee transfer pump	600-07-62-52420	246.18
Farm & City Supply	002325	08/30/2024	smartflo contrhose 3/4x50	600-07-62-52420	118.23
Harold K Scholz, Co	1711-121	08/30/2024	service	600-07-62-52094	4,206.67
UCI Testing	35418	08/30/2024	pre-employment -connely	600-07-00-52199	90.00
Golden Shovel	inv-020242330	08/30/2024	support	600-07-00-52147	330.00
Farm & City Supply	002374	08/30/2024	ball vlv 1x1pex brass	600-07-62-52420	24.71
Farm & City Supply	002374	08/30/2024	tube vinyl 3/4"idx1"od	600-07-62-52420	2.14
Farm & City Supply	002374	08/30/2024	screws	600-07-62-52420	5.36
Farm & City Supply	002374	08/30/2024	clamp 1/2-1 1/4" marine	600-07-62-52420	7.70
Farm & City Supply	002374	08/30/2024	coupl brs3/4fh-1/2mp ace	600-07-62-52420	9.23
Farm & City Supply	002374	08/30/2024	coupl brs3/4mh-1/2mp ace	600-07-62-52420	9.23
Farm & City Supply	002374	08/30/2024	tube braid 5/8x7/8"	600-07-62-52420	11.14
Farm & City Supply	002422	08/30/2024	elbow 90 3/4" sxs sch40	600-07-62-52420	1.49
Farm & City Supply	002422	08/30/2024	pipe sch40 3/4"x10' p end	600-07-62-52420	1.88
Farm & City Supply	002422	08/30/2024	adaptor sch40 3/4sl3/4fpt	600-07-62-52420	4.26
Farm & City Supply	002422	08/30/2024	adaptor sch40 3/4sl3/4fpt	600-07-62-52420	6.42
Farm & City Supply	002422	08/30/2024	cement/primer pvc 4ozpk2	600-07-62-52420	15.04
Farm & City Supply	002422	08/30/2024	pipe sch40 3/4"x10' p end	600-07-62-52420	16.32
Farm & City Supply	002422	08/30/2024	coupl brs3/4fh-3/4fp ace	600-07-62-52420	9.23
Amazon Capital Services	1jgp-m96q-myr3	08/30/2024	sabrent usb 2,0	600-07-62-52094	16.48
Amazon Capital Services	1YJX-FKK6-YTK4	08/22/2024	M210 Hand held Label Maker	600-07-62-52420	210.64
Amazon Capital Services	1YJX-FKK6-YTK4	08/22/2024	self-laminating vinyl wrap lab	600-07-62-52429	56.12
Amazon Capital Services	1YJX-FKK6-YTK4	08/22/2024	heat shrink wire & cable label	600-07-62-52429	85.96
Amazon Capital Services	1YJX-FKK6-YTK4	08/22/2024	self-laminating vinyl wrap lab	600-07-62-52429	69.82
North American Electric Relia	31207	08/30/2024	assessment	600-07-00-52199	722.77
Sojka's Plumbing	2169	08/30/2024	service	600-07-61-53550	80.00
Amazon Capital Services	11cr-gwrr-3t6q	08/30/2024	couple	600-07-62-52094	8.80
Amazon Capital Services	11cr-gwrr-3t6q	08/30/2024	screwdriver set	600-07-62-52420	40.12
Falls City Mercantile	227255	08/23/2024	Center pull paper towels (X21	600-07-00-10500	106.27
Dollar General Store	8000048000	08/22/2024	Bleach (X214)	600-07-00-10500	9.68
Dollar General Store	8000048000	08/22/2024	INDIVIDUAL HAND SOAP (X20	600-07-00-10500	10.70
Dollar General Store	8000048000	08/22/2024	Disinfectant Spray (X213)	600-07-00-10500	12.36
Dollar General Store	8000048000	08/22/2024	Toilet Bowl Cleaner (X212)	600-07-00-10500	12.36
Dollar General Store	8000048000	08/22/2024	Battery AA Alkaline (E1655)	600-07-00-10500	16.93
Dollar General Store	8000048000	08/22/2024	D cell batteries (E1651)	600-07-00-10500	30.80
Dollar General Store	8000048000	08/22/2024	Comet (X207)	600-07-00-10500	2.47
Dollar General Store	8000048000	08/22/2024	Dawn Dish Soap (X211)	600-07-00-10500	25.16
Dollar General Store	8000048000	08/22/2024	9 volt batteries (E1654)	600-07-00-10500	20.53
Dollar General Store	8000048000	08/22/2024	Battery AAA (E1655.1)	600-07-00-10500	16.93
Farm & City Supply	002963	08/30/2024	credit	600-07-62-52429	-2.49

Expense Approval Report

Payment Dates: 8/17/2024 - 8/30/2024

Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Farm & City Supply	002963	08/30/2024	credit - wrong account	600-07-62-52429	-10.99
Farm & City Supply	002964	08/30/2024	hose barb	600-07-62-52429	2.68
Farm & City Supply	002964	08/30/2024	male adapter	600-07-62-52429	11.81
Medica Insurance	CM0000057	08/23/2024	Group Health	600-07-00-21151	-420.69
Department of the Treasury	CM0000058	08/23/2024	Medicare Tax	600-07-00-21151	-23.00
Department of the Treasury	CM0000059	08/23/2024	Social Security Tax	600-07-00-21151	-98.12
Nebraska Department of Reve	CM0000060	08/23/2024	State W/H Tax	600-07-00-21151	-425.65
Department of the Treasury	CM0000061	08/23/2024	Federal W/H	600-07-00-21151	-1,257.90
Department of the Treasury	CM0000062	08/23/2024	Medicare Tax	600-07-00-21151	-1.54
Department of the Treasury	CM0000063	08/23/2024	Social Security Tax	600-07-00-21151	-6.58
Nebraska Department of Reve	CM0000064	08/23/2024	State W/H Tax	600-07-00-21151	-19.34
Department of the Treasury	CM0000065	08/23/2024	Federal W/H	600-07-00-21151	-39.09
AMERITAS BILLING	INV04282	08/23/2024	457 After Tax %	600-07-00-21151	248.64
AMERITAS BILLING	INV04283	08/23/2024	457 Pre Tax Percentage	600-07-00-21151	1,353.63
Aflac	INV04284	08/23/2024	AFLAC	600-07-00-21151	32.72
Aflac	INV04285	08/23/2024	AFLAC	600-07-00-21151	151.53
Collection Services Center	INV04287	08/23/2024	Child Support	600-07-00-21151	595.38
Dearborn Life Insurance Com	INV04288	08/23/2024	Life Insurance	600-07-00-21151	198.64
Nebraska Child Support Paym	INV04289	08/23/2024	Child Support	600-07-00-21151	216.01
Ameritas	INV04291	08/23/2024	Pension 457 Pre-Tax	600-07-00-21151	250.00
Ameritas	INV04292	08/23/2024	Pension 457 Pre-Tax	600-07-00-21151	300.00
Ameritas	INV04293	08/23/2024	Pension 457 Pre-Tax	600-07-00-21151	68.26
Ameritas	INV04294	08/23/2024	Pension 457 Pre-Tax	600-07-00-21151	300.00
Ameritas	INV04295	08/23/2024	Retirement 501a	600-07-00-21151	395.34
Ameritas	INV04296	08/23/2024	Retirement 501a	600-07-00-21151	290.88
Ameritas	INV04297	08/23/2024	Retirement 501a	600-07-00-21151	280.20
Ameritas	INV04298	08/23/2024	Retirement 501a	600-07-00-21151	494.28
Ameritas	INV04299	08/23/2024	Retirement 501a	600-07-00-21151	306.92
Ameritas	INV04300	08/23/2024	Retirement 501a	600-07-00-21151	369.46
Ameritas	INV04301	08/23/2024	Retirement 501a	600-07-00-21151	282.76
Ameritas	INV04302	08/23/2024	Retirement 501a	600-07-00-21151	396.52
Ameritas	INV04303	08/23/2024	Retirement 501a	600-07-00-21151	265.00
Ameritas	INV04304	08/23/2024	Retirement 501a	600-07-00-21151	262.46
Ameritas	INV04305	08/23/2024	Retirement 501a	600-07-00-21151	298.22
Ameritas	INV04306	08/23/2024	Retirement 501a	600-07-00-21151	276.14
Ameritas	INV04307	08/23/2024	Retirement 501a	600-07-00-21151	313.26
Ameritas	INV04308	08/23/2024	Retirement 501a	600-07-00-21151	203.84
Ameritas	INV04309	08/23/2024	Retirement 501a	600-07-00-21151	314.10
Ameritas	INV04310	08/23/2024	Retirement 501a	600-07-00-21151	256.68
Ameritas	INV04311	08/23/2024	Retirement 501a	600-07-00-21151	428.44
Ameritas	INV04312	08/23/2024	Retirement 501a	600-07-00-21151	214.94
Ameritas	INV04313	08/23/2024	Retirement 501a	600-07-00-21151	271.00
Ameritas	INV04314	08/23/2024	Retirement 501a	600-07-00-21151	409.34
Ameritas	INV04315	08/23/2024	Retirement 501a	600-07-00-21151	180.06
Ameritas	INV04316	08/23/2024	Retirement 501a	600-07-00-21151	219.86
Ameritas	INV04317	08/23/2024	Retirement 501a	600-07-00-21151	372.26
Ameritas	INV04318	08/23/2024	Retirement 501a	600-07-00-21151	304.80
Ameritas	INV04319	08/23/2024	Retirement 501a	600-07-00-21151	387.50
Ameritas	INV04320	08/23/2024	Retirement 501a	600-07-00-21151	519.20
American National Bank	INV04321	08/23/2024	HSA	600-07-00-21151	200.00
American National Bank	INV04322	08/23/2024	HSA	600-07-00-21151	71.00
American National Bank	INV04323	08/23/2024	HSA	600-07-00-21151	65.00
American National Bank	INV04324	08/23/2024	HSA	600-07-00-21151	160.00
American National Bank	INV04325	08/23/2024	HSA	600-07-00-21151	20.00
CWA Dues	INV04328	08/23/2024	union dues	600-07-00-21151	179.50
IBEW Local Union #1536	INV04329	08/23/2024	union dues	600-07-00-21151	378.39
Principal Life Insurance Comp	INV04330	08/23/2024	dental	600-07-00-21151	34.16
Principal Life Insurance Comp	INV04331	08/23/2024	health ins	600-07-00-21151	2,419.85
Dearborn Life Insurance Com	INV04332	08/23/2024	life ins	600-07-00-21151	1.29
Nebraska Department of Reve	INV04333	08/23/2024	tax	600-07-00-21151	3,833.59

Expense Approval Report

Payment Dates: 8/17/2024 - 8/30/2024

Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Principal Life Insurance Comp	INV04334	08/23/2024	vision	600-07-00-21151	8.17
Department of the Treasury	INV04335	08/23/2024	tax	600-07-00-21151	8,194.21
Department of the Treasury	INV04336	08/23/2024	medicare	600-07-00-21151	1,234.37
Department of the Treasury	INV04337	08/23/2024	ss	600-07-00-21151	5,277.96
Dearborn Life Insurance Com	INV04338	08/23/2024	life ins	600-07-00-21151	2.43
Medica Insurance	INV04339	08/23/2024	health ins	600-07-00-21151	18,172.43
Department of the Treasury	INV04340	08/23/2024	medicare	600-07-00-21151	1,234.37
Department of the Treasury	INV04341	08/23/2024	ss	600-07-00-21151	5,277.96
Dearborn Life Insurance Com	INV04343	08/23/2024	Life Insurance	600-07-00-21151	4.86
Ameritas	INV04345	08/23/2024	Retirement 501a	600-07-00-21151	292.30
Ameritas	INV04346	08/23/2024	Retirement 501a	600-07-00-21151	253.20
Dollar Fresh	435574	08/27/2024	Bottled Water (E150)	600-07-00-10500	252.00
Falls City Post Office	INV04370	08/30/2024	postage august 2024	600-07-00-52387	419.78
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-61-52011	54.97
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-61-52011	108.10
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-61-52011	168.10
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-61-52011	10.62
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-62-52011	12.78
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-62-52011	58.10
Southeast Nebraska Communi	INV04365	08/30/2024	service	600-07-62-52011	118.25
Fund 600 - Electric Total:					284,551.08

Fund: 610 - Water

McMaster-Carr	29128568	08/30/2024	1-npt female x 1 npsm male st	610-07-65-52429	42.47
McMaster-Carr	29128568	08/30/2024	versa-mount polycarbonate w	610-07-65-52429	149.60
McMaster-Carr	30627722	08/30/2024	pin-lug fire-fighting hose fittin	610-07-65-52093	57.24
McMaster-Carr	30852711	08/30/2024	Pipe Insulation	610-07-65-52093	279.38
Midwest Laboratories, Inc	1195831	08/30/2024	arsenic only	610-07-65-52198	504.00
VAG USA LLC	439055687	08/30/2024	seal kit for 10 inch GA valve	610-07-65-52096	734.82
Farm & City Supply	001518	08/30/2024	conduit lqmtl 3/4"x100'	610-07-65-52429	11.58
Farm & City Supply	001518	08/30/2024	adapter remale 1" sch40	610-07-65-52429	3.85
Farm & City Supply	001518	08/30/2024	bushing hex black 1x3/4"	610-07-65-52429	12.88
Farm & City Supply	001518	08/30/2024	supplies	610-07-65-52429	55.47
Farm & City Supply	001518	08/30/2024	3/4" str lqd-tight conn	610-07-65-52429	5.36
Farm & City Supply	001518	08/30/2024	3/4" str lqd-tight conn	610-07-65-52429	5.36
Farm & City Supply	001639	08/30/2024	nipple black 3/4"x2"	610-07-65-52429	2.78
Farm & City Supply	001639	08/30/2024	couple sch40 pvc 3/4"fpt	610-07-65-52429	4.28
USA Bluebook	inv00446783	08/30/2024	drum pump kit	610-07-65-52096	544.79
Edwards Chemicals	in161517	08/30/2024	chlorine	610-07-65-52300	897.50
Mississippi Lime Co	1741393	08/30/2024	Lime for Water Plant	610-07-65-52300	9,278.97
Municipal Supply, Inc of Oma	0916479-in	08/30/2024	supplies water main replacem	610-07-65-53550	22,072.43
Municipal Supply, Inc of Oma	0916481-in	08/30/2024	supplies city main	610-07-65-53550	479.60
Lincoln Winwater Works Co	103841 01	08/19/2024	4" x 12 1/2" full circle clamp {	610-07-65-10500	124.70
Lincoln Winwater Works Co	103841 01	08/19/2024	4" x 20" full circle clamp {4.74	610-07-65-10500	419.25
VAG USA LLC	439055757	08/30/2024	Seal kits for 6 and 8 inch GA el	610-07-65-52096	630.89
VAG USA LLC	439055757	08/30/2024	Seal kits for 6 and 8 inch GA el	610-07-65-52096	412.51
Nebraska Public Health Enviro	581334	08/30/2024	supplies	610-07-65-52198	340.00
Golden Shovel	inv-020242330	08/30/2024	support	610-07-65-52147	330.00
RULO TRANSPORTATION	INV04366	08/30/2024	dirt(East Nemaha Bridge)	610-07-65-52094	350.00
Johansen Drainage & Tile	INV04367	08/30/2024	service	610-07-65-52094	3,700.00
Falls City Post Office	INV04370	08/30/2024	postage august 2024	610-07-65-52387	419.78
Southeast Nebraska Communi	INV04365	08/30/2024	service	610-07-65-52011	161.20
Fund 610 - Water Total:					42,030.69

Fund: 620 - Gas

Total Systems and Controls	348797	08/19/2024	YZ Sentry Utility download ca	620-07-63-52420	302.90
Farm & City Supply	001612	08/30/2024	couple 3/4" sxs sch40	620-07-63-52429	2.13
Farm & City Supply	001669	08/30/2024	ring was extender kit	620-07-63-52093	10.74
Golden Shovel	inv-020242330	08/30/2024	support	620-07-63-52147	330.00
Falls City Post Office	INV04370	08/30/2024	postage august 2024	620-07-63-52387	419.79

Expense Approval Report

Payment Dates: 8/17/2024 - 8/30/2024

Vendor Name	Payable Number	Post Date	Description (Item)	Account Number	Amount
Southeast Nebraska Communi	INV04365	08/30/2024	service	620-07-63-52011	61.33
Fund 620 - Gas Total:					1,126.89
Fund: 630 - Wastewater					
USA Bluebook	inv00436862	08/30/2024	wash down nozzle	630-07-64-52093	95.90
USA Bluebook	inv00436862	08/30/2024	male x male hex nipple	630-07-64-52093	48.39
Miller & Associates	0953	08/30/2024	service	630-07-64-52197	5,850.00
USA Bluebook	inv00440442	08/30/2024	usa bluebook tracing dye	630-07-64-52094	117.75
Midwest Laboratories, Inc	1195830	08/30/2024	service	630-07-64-52199	161.39
Brown County Transfer	147318	08/30/2024	waste	630-07-64-52085	150.00
Farm & City Supply	001632	08/30/2024	air blow gun 1/4" fnpt	630-07-64-52096	15.04
Farm & City Supply	001632	08/30/2024	air plug i/m 1/4"mnpt	630-07-64-52096	3.86
Halogen Supply Company, Inc.	00618954	08/30/2024	Handles	630-07-64-52429	143.16
Halogen Supply Company, Inc.	00618954	08/30/2024	Scrub brushes	630-07-64-52429	304.07
True Value Hardware	54732	08/30/2024	diamond blade	630-07-64-52420	28.99
Farm & City Supply	002265	08/30/2024	latex gloves	630-07-64-52333	3.21
Golden Shovel	inv-020242330	08/30/2024	support	630-07-64-52147	330.00
Municipal Supply, Inc of Oma	0917218-in	08/30/2024	TST-4, TEE Saddle	630-07-64-52094	236.00
Southeast Nebraska Communi	INV04364	08/30/2024	service	630-07-64-52011	15.78
Southeast Nebraska Communi	INV04365	08/30/2024	service	630-07-64-52011	103.79
Fund 630 - Wastewater Total:					7,607.33
Grand Total:					695,621.07

Report Summary

Fund Summary

Fund	Payment Amount
100 - General	79,328.16
110 - Police	2,534.63
115 - Animal Control	41.04
120 - Fire	282.15
150 - Parks	56,846.29
151 - Auditorim	599.90
170 - Library	617.94
180 - Cemetery	155.50
190 - Streets	146,412.83
195 - Mechanic Shop	215.37
210 - Solid Waste	9,428.56
240 - CDBG - Owner-Occupier Rehabilitation Program	58,396.53
280 - Housing Abatement/Demolition Program	5,446.18
600 - Electric	284,551.08
610 - Water	42,030.69
620 - Gas	1,126.89
630 - Wastewater	7,607.33
Grand Total:	695,621.07

Account Summary

Account Number	Account Name	Payment Amount
100-01-00-21151	Payroll Deductions Paya	57,783.10
100-01-11-52011	Telephone	615.57
100-01-11-52118	Printing & Publishing	273.50
100-01-11-52147	Advertising Expense	1,320.00
100-01-11-52195	Technology Services	2,320.00
100-01-11-52199	Other Contractual Servic	500.00
100-01-11-52372	Office Supplies	37.99
100-06-11-52172	Payments to Other Agen	16,478.00
110-02-21-52011	Telephone	1,159.55
110-02-21-52093	Building/Grounds Maint	35.08
110-02-21-52109	Legal Expense	142.50
110-02-21-52118	Printing Expense	273.50
110-02-21-52199	Other Contractual Servic	924.00
115-02-23-52020	Electric Expense	41.04
120-02-22-52011	Telephone	127.35
120-02-22-52420	Small Equipment	154.80
150-05-51-52093	Building/Grounds Maint	340.55
150-05-51-52096	Operational Equipment	6,975.00
150-05-51-52300	Chemical	2,987.97
150-05-51-52303	Cost of Sale - Concession	879.05
150-05-51-52420	Small Equipment	2,254.24
150-05-51-52429	Supplies & Materials	269.70
150-05-51-53250	Other Capital Equipment	1,900.00
150-05-51-53515	Sidewalks	4,640.33
150-05-51-53620	Heavy Equipment	36,349.45
150-05-51-60000	Transfers Out	250.00
151-05-51-52011	Telephone	95.49
151-05-51-52093	Building/Grounds Maint	386.18
151-05-51-52429	Supplies & Materials	118.23
170-05-52-52011	Telephone	224.58
170-05-52-52372	Office Supplies	198.16
170-05-52-52429	Supplies & Materials	195.20
180-05-53-52011	Telephone	98.90
180-05-53-52014	Vehicle/Equipment Main	1.19
180-05-53-52093	Building/Grounds Maint	27.45
180-05-53-52429	Supplies & Materials	27.96

Account Summary

Account Number	Account Name	Payment Amount
190-03-31-52011	Telephone	51.05
190-03-31-52420	Small Equipment	734.00
190-03-31-52429	Supplies & Materials	2,537.98
190-03-31-53250	Other Capital Equipment	5,397.52
190-03-31-53520	Street-New Roadway	99,600.70
190-03-31-53531	Street-Safety/Environme	1,742.13
190-03-31-53620	Heavy Equipment	36,349.45
195-03-66-52330	Merchandise for Resale	119.98
195-03-66-52429	Supplies & Materials	95.39
210-03-00-53250	Other Capital Equipment	9,428.56
240-06-00-52103	Grant Administration Ex	8,301.25
240-06-00-52901	Rehabilitation of Private	50,095.28
280-06-23-52175	ACM Inspections & Rem	5,273.00
280-06-23-52199	Other Contractual Servic	173.18
600-07-00-10500	Inventory-Electric Gener	961.75
600-07-00-21151	Payroll Deductions Paya	57,051.40
600-07-00-52109	Legal Expense	680.00
600-07-00-52147	Advertising Expense	330.00
600-07-00-52199	Other Contractual Servic	812.77
600-07-00-52303	Commodity Purchase for	217,472.78
600-07-00-52387	Postage/Shipping	419.78
600-07-61-52011	Telephone	341.79
600-07-61-52094	Infrastructure Maintena	15.98
600-07-61-52372	Office Supplies	48.54
600-07-61-53550	Utility Systems & Structu	80.00
600-07-62-52011	Telephone	189.13
600-07-62-52094	Infrastructure Maintena	4,755.27
600-07-62-52195	Technology Expense	43.00
600-07-62-52372	Office Supplies	22.29
600-07-62-52420	Small Equipment	920.66
600-07-62-52429	Supplies & Materials	405.94
610-07-65-10500	Inventory-Water	543.95
610-07-65-52011	Telephone	161.20
610-07-65-52093	Building/Grounds Maint	336.62
610-07-65-52094	Infrastructure Maintena	4,050.00
610-07-65-52096	Operational Equipment	2,323.01
610-07-65-52147	Advertising Expense	330.00
610-07-65-52198	Other Professional Servi	844.00
610-07-65-52300	Chemicals	10,176.47
610-07-65-52387	Postage/Shipping	419.78
610-07-65-52429	Supplies & Materials	293.63
610-07-65-53550	Utility Systems & Structu	22,552.03
620-07-63-52011	Telephone	61.33
620-07-63-52093	Building/Grounds Maint	10.74
620-07-63-52147	Advertising Expense	330.00
620-07-63-52387	Postage/Shipping	419.79
620-07-63-52420	Small Equipment	302.90
620-07-63-52429	Supplies & Materials	2.13
630-07-64-52011	Telephone	119.57
630-07-64-52085	Refuse/Recycling	150.00
630-07-64-52093	Building/Grounds Maint	144.29
630-07-64-52094	Infrastructure Maintena	353.75
630-07-64-52096	Operational Equipment	18.90
630-07-64-52147	Advertising Expense	330.00
630-07-64-52197	Engineering Expense	5,850.00
630-07-64-52199	Other Contractual Servic	161.39
630-07-64-52333	Uniforms/Safety Supplie	3.21
630-07-64-52420	Small Equipment	28.99

Account Summary

Account Number	Account Name	Payment Amount
630-07-64-52429	Supplies & Materials	447.23
Grand Total:		695,621.07

Project Account Summary

Project Account Key	Payment Amount
None	608,742.51
20100152103	8,301.25
20100152901	50,095.28
21100153550	80.00
24100952197	5,850.00
24101253550	22,552.03
Grand Total:	695,621.07

ORDINANCE NO. 2024- 100

AN ORDINANCE TO AMEND SECTION 6-317 OFFENSES; DISCHARGE OF FIREWORKS AND FIRECRACKERS OF THE FALLS CITY MUNICIPAL CODE; TO PROVIDE FOR DATES AND HOURS FIREWORKS AND FIRECRACKERS MAY BE DISCHARGED, LIT OR IGNITED; TO REPEAL CONFLICTING ORDINANCES IN SAID SECTION; TO PROVIDE AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF FALLS CITY, NEBRASKA:

Section 1. That Chapter 6, Article 3, Section 6-317 of the Falls City Municipal Code be amended to read as follows:

§6-317. OFFENSES; DISCHARGE OF FIREWORKS AND FIRECRACKERS. It shall be unlawful for any person to discharge, light or ignite any fireworks or firecrackers within the corporate limits of the City of Falls City, Nebraska, except;

(a) permissible fireworks as defined by the laws of the State of Nebraska may be discharged, lit or ignited between the hours of 10:00 a.m. through 11:00 p.m. for the period the same may be sold within the State of Nebraska; and

(b) July 3, July 4, July 5 and December 31 between the hours of 10:00 a.m. to 11:59 p.m. (*Ref. Neb. Rev. Stat. § 28-1249*)

Section 2. That all ordinances passed and approved prior to the passage, approval and publication or posting of this ordinance and in conflict with its provisions, are hereby repealed.

Section 3. That this ordinance shall take effect and be in full force from and after its passage, approval and publication or posting as required by law.

Passed and approved this _____ day of _____, 2024.

MAYOR

ATTESTED:

CITY CLERK

28-1249. Sale of consumer fireworks; limitations.

It shall be unlawful to sell any consumer fireworks at retail within this state, outside the limits of any incorporated city or village. Consumer fireworks may be sold at retail only between June 24 and July 5 and between December 28 and January 1 of each year.

Source: Laws 1977, LB 38, § 281; Laws 1999, LB 621, § 1; Laws 2004, LB 1091, § 2; Laws 2010, LB880, § 8.

28-1241. Fireworks; definitions.

As used in sections 28-1239.01 and 28-1241 to 28-1252, unless the context otherwise requires:

(1) 1.3G explosives, also known as display fireworks or Class B fireworks or by United Nations shipping classification number UN0335, means any items classified as 1.3G explosives by the United States Department of Transportation in Title 49 of the Code of Federal Regulations, as such regulations existed on January 1, 2021;

(2) 1.4G explosives, also known as consumer fireworks or Class C fireworks or by United Nations shipping classification number UN0336, means any items classified as 1.4G explosives by the United States Department of Transportation in Title 49 of the Code of Federal Regulations, as such regulations existed on January 1, 2021;

(3) Distributor means any person engaged in the business of making sales of fireworks at wholesale in this state to any person engaged in the business of making sales of fireworks either as a jobber or as a retailer or both;

(4) Jobber means any person engaged in the business of making sales of fireworks at wholesale to any other person engaged in the business of making sales at retail;

(5) Retailer means any person engaged in the business of making sales of fireworks at retail to consumers or to persons other than distributors or jobbers;

(6) Sale includes barter, exchange, or gift or offer therefor and each such transaction made by any person, whether as principal, proprietor, agent, servant, or employee;

(7) Fireworks means any composition or device designed for the purpose of producing a visible or audible effect by combustion, deflagration, or detonation and which meets the definition of consumer or special fireworks set forth by the United States Department of Transportation in Title 49 of the Code of Federal Regulations;

(8)(a) Consumer fireworks means any device that (i) meets the requirements set forth in 16 C.F.R. parts 1500 and 1507, as such regulations existed on January 1, 2021, and (ii) is tested and approved by a nationally recognized testing facility or by the State Fire Marshal.

(b) 1.4G explosives shall be considered consumer fireworks.

(c) Consumer fireworks does not include:

(i) Wire sparklers; or

(ii) Fireworks that have been tested by the State Fire Marshal as a response to complaints and have been deemed to be unsafe; and

(9) Display fireworks means those materials manufactured exclusively for use in public exhibitions or displays of fireworks designed to produce visible or audible effects by combustion, deflagration, or detonation. Display fireworks includes, but is not limited to, firecrackers containing more than one hundred thirty milligrams of explosive composition, aerial shells containing more than forty grams of explosive composition, and other display pieces which exceed the limits for classification as consumer fireworks. 1.3G explosives shall be considered display fireworks. Display fireworks shall be considered an explosive as defined in section 28-1213 and shall be subject to sections 28-1213 to 28-1239, except that display fireworks may be purchased, received, and discharged by the holder of an approved display permit issued pursuant to section 28-1239.01.

Source: Laws 1977, LB 38, § 273; Laws 1986, LB 969, § 2; Laws 1988, LB 893, § 3; Laws 2006, LB 1007, § 2; Laws 2010, LB880, § 3; Laws 2021, LB152, § 1.

PUBLIC NOTICE

Notice is hereby given that the City of Falls City intends to file an application to USDA Rural Development for financial assistance in the amount of \$12,361 for the purchase of router equipment and firewall.

A meeting will be held on 09/16/2024 at 6:00 p.m. at 2307 Barada Street regarding the proposed project and to provide the opportunity for public comment.

Please run in the September 4th and 11th paper.



RESOLUTION NO. _____

ACCEPTING STREET IMPROVEMENTS COMPLETED BY EXCEL DEVELOPMENT FOR THE WILDERNESS FALLS III PROJECT AND AUTHORIZING REIMBURSEMENT FOR PUBLIC IMPROVEMENT COSTS.

WHEREAS, the City of Falls City, Nebraska, previously entered into an agreement with Excel Development Group regarding the Wilderness Falls III project, which included the construction of public improvements, including street infrastructure; and

WHEREAS, Excel Development Group has completed the street improvements for the Wilderness Falls III project in accordance with the plans and specifications approved by the City; and

WHEREAS, the City of Falls City had agreed to reimburse Excel Development Group for fifty percent (50%) of the public improvement construction costs associated with the project; and

WHEREAS, the total public improvement construction cost for the Wilderness Falls III project is four hundred seventy-two thousand, two hundred twenty-two dollars and seventy cents (\$472,222.70), resulting in a reimbursement amount of two hundred thirty-six thousand, one hundred eleven dollars and thirty-five cents (\$236,111.35); and

WHEREAS, the City has inspected the completed street improvements and found them to be in compliance with the approved plans and specifications.

NOW, THEREFORE, be it resolved by the Mayor and City Council of the City of Falls City, Nebraska:

1. The City hereby accepts the completed street improvements for the Wilderness Falls III project, constructed by Excel Development Group.
2. The City agrees to reimburse Excel Development Group for fifty percent (50%) of the total public improvement construction costs, in the amount of two hundred thirty-six thousand, one hundred eleven dollars and thirty-five cents (\$236,111.35).

PASSED AND APPROVED this _____ day of September, 2024.

ATTESTED TO:

CITY OF FALLS CITY

Clerk

Mayor

Anthony Nussbaum

From: Connor Menard <Connor@exceldg.com>
Sent: Tuesday, July 9, 2024 11:51 AM
To: Anthony Nussbaum
Cc: Kim Ribeiro; Nick Zeller
Subject: Re: Wilderness Falls III Street Improvement Costs for Reimbursment
Attachments: Wilderness Falls III Street Improvement Costs for Reimbursement - REGA Invoice.pdf; Wilderness Falls III Street Improvement Costs for Reimbursement - ForTen Invoices.pdf; Wilderness Falls III Street Improvement Costs for Reimbursement - Excel Invoice.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Anthony,

Here are all the invoices associated with the Wilderness Falls III Street Improvements.

Total submittal is \$469,209 + 8,013.70 + 10,000 = \$487,222.70. The Reimbursement of 50% would be \$243,611.35.

- 7500.00 Adjustment for future sewer extension of manhole at 31st/456th
The reimbursement needs to be made out to the project: Wilderness Falls III, LLC.

Best,



\$236,111.35

Connor Menard, Development Director

Excel Development Group
8551 Lexington Avenue
Lincoln, NE 68505
Office: 402-434-3344
Direct Line: 402-803-8735
Fax: 402-434-3343
Cell: 402-219-3943
Email: connor@exceldg.com
Website: exceldg.com



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Anthony Nussbaum

From: Nick Zeller <nick@exceldg.com>
Sent: Monday, September 9, 2024 2:15 PM
To: Anthony Nussbaum
Cc: Kim Ribeiro; Trevor Campbell
Subject: RE: Wilderness Falls III Street Improvement Costs for Reimbursment

Anthony,

Thank you for taking my call to discuss the Wilderness Falls III street improvement costs this morning. We will accept that \$7500 be deducted from Falls City's reimbursement as long we could have the check mailed out or picked up asap after the council meeting on the 16th.

As mentioned on the call, I will send out the support letter this week.

Thank you,

Nick Zeller

Project Construction Manager

Excel Development Group

8551 Lexington Avenue

Lincoln, NE 68505

Direct: 402.803.8608

Cell: 402.525.0032



From: Anthony Nussbaum <a.nussbaum@fallscityne.us>
Sent: Friday, September 6, 2024 5:24 PM
To: Nick Zeller <nick@exceldg.com>
Cc: Kim Ribeiro <KimR@exceldg.com>; Trevor Campbell <t.campbell@fallscityne.us>
Subject: RE: Wilderness Falls III Street Improvement Costs for Reimbursment

Thanks for the heads up. Due to the fact that the intersection at 31st & Abbott will require demo for the tie in we would request a total of \$7500 be deducted from the cities reimbursement request to allow for future tie-in into the sanitary sewer. We have estimated about \$10-15k worth of work would need competed to extend the sanitary sewer to the extents beyond the back of curb for the street that was installed. We would be willing to accept a portion of that and get this item finalized. If that is acceptable to Excel, I will get the item processed on our next agenda with city council which will be on the 16th. We would then cut an off-cycle check on the 17th and get it mailed out to Excel.



Street Improvements			
5/21/2024			
Includes PCO 3r, 6, 7, & 11			
Cost	Description	Vendor	Notes
\$ 7,750	Survey & Staking	REGA	50% of Total Survey Budget
\$ 9,700	SWPPP	MCON / FORTEN	50% of Total SWPPP Budget
\$ 167,860	Paving & Joint Sealants	FlatWorx / Bestco / NEBCO	Does NOT Include Cost of Repairs
\$ 114,431	Stormwater	MCON	
\$ 15,300	R&R Water Main for Storm Inlets	MCON	
\$ 12,740	R&R Water Valves in Drive #3	MCON	
\$ 5,302	Earthwork	MCON	
\$ 55,315	Public Sidewalks	FlatWorx / NEBCO	
\$ 32,890	GCs & Supervision	FORTEN	12.72% of Total GCs & Supervision Budget
\$ 5,266	Insurances	FORTEN	1.25%
\$ 42,655	OH&P	FORTEN	10%
\$ 469,209	Total		
\$ 234,605	50%		



REGA Engineering Group, Inc
601 Old Cheney Road, Ste A
Lincoln, NE 68512
402.484.7342
www.regaeng.com

Excel Development Group
Attn: Accounts Payable
8551 Lexington Ave
Lincoln, NE 68505

Invoice number 2
Date 7/7/2024

Project EXCEL, Wilderness Falls III
Falls City, NE

PURPOSE: Street Improvements FEE: Lump Sum

Description	Contract Amount	Prior Billed	Current Billed
Design of Paving, Water, Sanitary and Storm *Does not include any time for design of Tiger Trail	10,000	0.00	0.00
Total	10,000		10,000

Invoice total 10,000

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
	Total			0.00	0.00	0.00	0.00

Invoices not paid within 30 days of Invoice Date will be subject to Finance Charges of 1.5% per month.

72-196 Wilderness Falls
Tests on Abbott St. & 31st St. billed to Excel

Date	Description of work	Hours	Cylinders	Miles	Invoice # reference	Amount
12/14/2023	Field density tests (#105-109) on Abbott St.	3.0 Field compaction, 0.25 CPM		110	1817692	\$344.80
1/4/2024	Field density tests (#118-119) on Abbott St.	3.5 Field compaction, 0.5 CPM		110	1817850	\$391.30
2/8/2024	Field density tests (#125-126) on Abbott St./W 31st St.	3.0 Field compaction, 0.25 CPM		110	1818018	\$344.80
2/7/2024	Field density tests (#127-130) on W 31st St.	6.0 Field compaction, 0.5 CPM		220	1818018	\$669.60
2/19/2024	Field density tests (#131-132) on W 31st St.	2.0 Field compaction, 0.25 CPM		110	1818018	\$281.80
2/19/2024	Field concrete tests (set #18), Curb on Abbott St.	7.0 Field concrete + 1.0 overtime, 0.25 CPM	4 @ \$18 = \$72	110	1818018	\$763.30
2/21/2024	Field concrete tests (set #19-20), Paving on Abbott St.	8.0 Field concrete, 0.5 CPM	8 @ \$18 = \$144	220	1818018	\$959.60
2/26/2024	Field concrete tests (set #21), Curb on 31st St.	6.0 Field concrete	4 @ \$18 = \$72	220	1818018	\$731.60
3/1/2024	Field concrete tests (set #22), Paving on Abbott St./half of W 31st., Sta. 3+50 - 11+00	7.0 Field concrete, 0.5 CPM	4 @ \$18 = \$72	220	1818324	\$824.60
3/5/2024	Field concrete tests (set #23), W 31st Sta. 11+00 - 12+00	6.0 Field concrete, 0.25 CPM	4 @ \$18 = \$72	220	1818324	\$746.60
3/19/2024	Field concrete tests (set #24), W 31st Sta. 11+75 - 13+25	7.0 Field concrete, 0.25 CPM	4 @ \$18 = \$72	220	1818324	\$809.60
4/5/2024	Field concrete tests (set #26-30), Sta. 2+00 - 3+60	8.0 Field concrete + 1.0 overtime, 0.5 CPM	12 @ \$18 = \$216	220	1818677	\$1,126.10

* CPM = Coordination & Project Management

\$8,013.70



FORTEN
BUILDING GROUP

Schedule of Values

Prepared by: Charles P. Stewart - President | Preconstruction & Finance

Project: Wilderness Falls III (Lots 1 thru 8)
Type: Ground-up Development
Client: Excel Development Group
Architect: Architectural Design Associates
Job Number: 23 004

Total Construction Duration: 40 Weeks
Building Area: 22,560 SF +/-
Site Area: 115,000 SF +/-
Units: 16 EA
Floors: 1 EA

Location: Falls City, NE

Thru PCO #11
Date: 5/21/2024

Division	Description	Total	%	Cost / Unit	Cost / SF
01 00 00	DIV 01 - General Conditions & Requirements	\$ 25,638	0.7%	\$ 1,602	\$ 1.14
01 00 00	DIV 01 - Temporary Facilities	\$ 58,515	1.6%	\$ 3,657	\$ 2.59
01 00 00	DIV 01 - Temporary Equipment & Tools	\$ 31,205	0.8%	\$ 1,950	\$ 1.38
01 00 00	DIV 01 - Project Staffing & Travel Expenses	\$ 143,500	3.9%	\$ 8,969	\$ 6.36
02 00 00	DIV 02 - Existing Conditions	N.I.C.	0.0%	\$ -	\$ -
02 00 00	DIV 02 - Survey & Staking	\$ 15,500	0.4%	\$ 969	\$ 0.69
03 00 00	DIV 03 - Concrete	\$ 410,526	11.1%	\$ 25,658	\$ 18.20
04 00 00	DIV 04 - Masonry	\$ 40,040	1.1%	\$ 2,503	\$ 1.77
05 00 00	DIV 05 - Metals	N.I.C.	0.0%	\$ -	\$ -
06 00 00	DIV 06 - Wood, Plastics, & Composites	\$ 545,735	14.8%	\$ 34,108	\$ 24.19
07 00 00	DIV 07 - Thermal & Moisture Protection	\$ 286,119	7.7%	\$ 17,882	\$ 12.68
08 00 00	DIV 08 - Doors	\$ 111,662	3.0%	\$ 6,979	\$ 4.95
08 00 00	DIV 08 - Glass & Glazing	\$ 41,865	1.1%	\$ 2,617	\$ 1.86
09 00 00	DIV 09 - Finishes	\$ 203,352	5.5%	\$ 12,710	\$ 9.01
09 00 00	DIV 09 - Flooring	\$ 54,336	1.5%	\$ 3,396	\$ 2.41
10 00 00	DIV 10 - Specialties	\$ 9,835	0.3%	\$ 618	\$ 0.44
11 00 00	DIV 11 - Equipment	\$ 68,827	1.9%	\$ 4,302	\$ 3.05
12 00 00	DIV 12 - Furnishings	\$ 10,328	0.3%	\$ 646	\$ 0.46
13 00 00	DIV 13 - Special Construction	N.I.C.	0.0%	\$ -	\$ -
14 00 00	DIV 14 - Conveying Systems	N.I.C.	0.0%	\$ -	\$ -
21 00 00	DIV 21 - Fire Suppression	N.I.C.	0.0%	\$ -	\$ -
22 00 00	DIV 22 - Plumbing	\$ 236,025	6.4%	\$ 14,752	\$ 10.46
23 00 00	DIV 23 - Heating, Ventilating, & Air Conditioning (HVAC)	\$ 216,411	5.9%	\$ 13,526	\$ 9.59
25 00 00	DIV 25 - Integrated Automation	N.I.C.	0.0%	\$ -	\$ -
26 00 00	DIV 26 - Electrical	\$ 187,676	5.1%	\$ 11,730	\$ 8.32
27 00 00	DIV 27 - Communications	N.I.C.	0.0%	\$ -	\$ -
28 00 00	DIV 28 - Electronic Safety & Security	N.I.C.	0.0%	\$ -	\$ -
31 00 00	DIV 31 - Earthwork	\$ 52,228	1.4%	\$ 3,264	\$ 2.32
32 00 00	DIV 32 - Exterior Improvements	\$ 385,183	10.4%	\$ 24,074	\$ 17.07
33 00 00	DIV 33 - Utilities	\$ 181,185	4.9%	\$ 11,324	\$ 8.03
34 00 00	DIV 34 - Transportation	N.I.C.	0.0%	\$ -	\$ -
35 00 00	DIV 35 - Waterway & Marine Construction	N.I.C.	0.0%	\$ -	\$ -
40 00 00	DIV 40 - Process Interconnections	N.I.C.	0.0%	\$ -	\$ -
41 00 00	DIV 41 - Material Processing & Handling Equipment	N.I.C.	0.0%	\$ -	\$ -
42 00 00	DIV 42 - Process Heating, Cooling, & Drying Equipment	N.I.C.	0.0%	\$ -	\$ -
43 00 00	DIV 43 - Process Gas & Liquid Handling, Purification, & Storage Equipment	N.I.C.	0.0%	\$ -	\$ -
44 00 00	DIV 44 - Pollution & Waste Control Equipment	N.I.C.	0.0%	\$ -	\$ -
45 00 00	DIV 45 - Industry Specific Manufacturing Equipment	N.I.C.	0.0%	\$ -	\$ -
46 00 00	DIV 46 - Water & Wastewater Equipment	N.I.C.	0.0%	\$ -	\$ -
48 00 00	DIV 48 - Electrical Power Generation	N.I.C.	0.0%	\$ -	\$ -
	Subtotal	\$ 3,315,741	89.8%	\$ 207,234	\$ 147
97 00 00	DIV 97 - Building Permits & Fees	N.I.C.	0.0%	\$ -	\$ -
97 00 00	DIV 97 - Third Party Quality Assurance Inspections & Testing (QAA)	N.I.C.	0.0%	\$ -	\$ -
97 00 00	DIV 97 - Third Party Smoke Control Inspections & Testing (MQAA)	N.I.C.	0.0%	\$ -	\$ -
97 00 00	DIV 97 - Third Party Building Commissioning & Systems Testing (ITCC)	N.I.C.	0.0%	\$ -	\$ -
98 00 00	DIV 98 - Design & Engineering	N.I.C.	0.0%	\$ -	\$ -
99 00 00	DIV 99 - Insurances	\$ 44,856	1.2%	\$ 2,804	\$ 1.99
99 00 00	DIV 99 - Builders Risk Insurance	\$ 13,751	0.4%	\$ 859	\$ 0.61
99 00 00	DIV 99 - Contractor's Overhead & Profit	\$ 185,000	5.0%	\$ 11,563	\$ 8.20
99 00 00	DIV 99 - Bonding	N.I.C.	0.0%	\$ -	\$ -
99 00 00	DIV 99 - Project Contingency (Margin of Error & Escalation)	N.I.C.	0.0%	\$ -	\$ -
99 00 00	DIV 99 - Contractor's Contingency (Course of Construction / Budget to Allocate)	\$ 134,393	3.6%	\$ 8,400	\$ 5.96
99 00 00	DIV 99 - Owner's Contingency (Course of Construction)	N.I.C.	0.0%	\$ -	\$ -
	Total Cost of Construction	\$ 3,693,746	100.0%	\$ 230,859	\$ 164

REGA
ENGINEERING
GROUP, INC.

FAX COVER SHEET

601 Old Cheney Road, Suite A
Lincoln, NE 68512
Phone: 402-484-7342
Fax: 402-484-7344
Email: brian@regaeng.com

CONTRACT ISSUED

AGREEMENT
ENTERED INTO
A/P SYSTEM

Date: July 26, 2023

To: Charles Stewart, Forten Building Group

REVISED

Topic: Construction Staking Proposal (Revised)
Wilderness Falls Phase 3 – Falls City, NE

LATE BID

Number of pages sent including cover sheet: 5

PROJECT BUDGET / STREET
IMPROVEMENTS BUDGET INCLUDES AN
ADDITIONAL \$2,500 FOR RESTAKING
COSTS.

From: Brian Smutny

Comments:

REGA Engineering Group would like to take this opportunity to provide your company with construction staking fees for this project. REGA is a fully insured professional firm and has been involved with hundreds of similar sized projects and understands the project construction schedules and details. Construction staking as required for construction of improvements with the attached specifications.

Thank You.

REGA Engineering Group, Inc.

TYPE	SHORT FORM
PROJECT	23-004
VALUE	\$13,000
COST CODE	02.100
APPROVED	CS
DATE	07.24.23



REGA Project No. 231034

CONSTRUCTION STAKING PROPOSAL (REVISED)
WILDERNESS FALLS PHASE 3 – FALLS CITY, NE
July 26, 2023

This agreement for limited professional (hereinafter referred to as "Agreement") to be provided by **REGA ENGINEERING GROUP, INC.** (hereinafter referred to as "A/E") for **FORTEN BUILDING GROUP** (hereinafter referred to as "Client"). General Conditions are attached in Exhibit "A".

ARTICLE 1

SCOPE OF SERVICES: This Scope of Services for the above mentioned project as of today's date of 7/26/2023, outlines the surveying services required to provide construction staking for the above referenced project. The following scope of services is based upon the final plans and specifications as provided to A/E. Re-staking or Changes to this scope of services shall be considered additional services. All items requested to be staked will be located from the Electronic plans provided by Client, unless otherwise indicated. Client shall provide to A/E electronic Auto CAD files for construction staking at no charge. Auto CAD drawings requested should include what is shown on Structural and/or Architectural and Civil construction plans. Auto CAD drawings shall include the Civil base layout shall include but not limited to, contours, spot elevations, utility locations, retaining walls, GEO well locations, Site control, Benchmarks and any other features that are requested to be staked.

Basic Scope of Services

1.1 CONSTRUCTION STAKING SERVICES will include the following:

A. Construction Staking: as required for construction of improvements with the following specifications.

Structures will be laid out as follows:

- Grid lines will be marked by tacked hubs @ offset requested by contractor.
**Contractors are to verify grid and or building distances before starting foundations. ** (2 trips allocated)

Overlot Grading will be laid out as follows:

- 4' wood lath on contour lines or on back of curb with cut/fill to requested grade (2 trips allocated)

Paving will be laid out as follows:

- 50' on tangent sections and 25' on curves @ offset as requested.
- All grades will be marked using a 2"x2" tacked wood hub guarded by a 16" stake and graded to top of curb or top of slab. (2 trips allocated)

Storm and Sanitary Sewer will be laid out as follows:

- A nail at the center of each manhole, bend points and cleanouts.
- Inlets will be positioned by two hubs aligned with the back of curb and graded to top of curb.
- All grades will be marked using a 2"x2" wood hub guarded by a 16" stake and/or a 4" wood lath with a cut/fill to the pipe invert elevation @ offset requested by contractor. (1 trip allocated)

Water Service Lines will be laid out as follows:

- A flag at the center of each Hydrant, break in grades and bend points.
- All grades will be marked using a 2"x2" wood hub guarded by a 16" stake and/or a 4" wood lath with a cut/fill to the pipe invert elevation @ offset requested by contractor. (Trip included with Storm)

General Staking Notes

The contractor is responsible for protecting and perpetuating all stakes. A total of 7 trip charges have been included in the above scope of services. Additional re-stakes, trip charges or services required in addition to those listed above will be performed at the A/E's prevailing standard hourly billing rates.

1.2 REIMBURSABLE EXPENSES. Included in FEES.

ADDITIONAL SERVICES: Services required in addition to those listed above will be performed at the A/E's prevailing standard hourly billing rates as shown in the Standard Hourly Rate Schedule in the General Conditions - Exhibit A. Changes in the staking requirements or additional staking required initiated by the Client outside this scope shall be considered a change in scope and will be billed based on standard hourly rates plus expenses.

EXCLUDED SERVICES: Services not set forth above as Basic Services or Additional Services and listed in Article 1 of this Agreement are excluded from the scope of the A/E's services and the A/E assumes no responsibility to perform such services. Specifically excluded are: Application Fees, Railroad insurance, permitting or flagging fees and title policy research fees, off-site utility main and/or street extensions.

ARTICLE 2

FEE ARRANGEMENT & SCHEDULE

2.1 PROFESSIONAL FEES: The A/E agrees to provide the above services on a lump sum basis (LS in addition to any reimbursable expenses, and Additional Staking Requests and Re-staking Requests will be charged at the rate of \$200.00 an hour. A/E reserves the right to adjust fees as needed to account for higher costs if project has not been initiated a maximum of 180 days from the date the A/E signed this agreement.

2.1A Construction Staking Fee

\$13,000.00

2.2 PAYMENT. The A/E will bill the Client on a monthly basis based on percent of work completed. Invoices are due and payable upon receipt. Unpaid balances after 30 days from the date of the invoice are subject to an interest charge of one and one-half percent (1.5%) per month. Staking fees are based on NO RETAINAGE; if retainage is required, A/E shall add an additional 10% to the staking fees or hourly rates as shown above.

2.3 SCHEDULE: Construction Staking services schedule will be identified by the Client and must be agreed to in writing by the A/E. The Client shall notify the A/E of any submittal constraints in a timely manner so that appropriate scheduling may take place.

2.4 CONTRACT REPRESENTATIVE. Brian Smutny of REGA Engineering Group will serve as project manager and contact for the A/E for this project. The Client shall designate a staff member to serve in a similar capacity.

EXHIBITS:

Exhibit A - General Conditions

Client:
Forten Building Group

Signature: _____

By: _____

Title: _____

Date: _____

A/E:
REGA Engineering Group, Inc.

Signature: _____

By: Brian Smutny

Survey Department

Date: _____

7-26-2023

Address: 601 Old Cheney Road
Suite A
Lincoln, NE 68512



1004 Vernon Road | PO Box 62 | Wathena, KS 66090

Phone: 785-989-4550 | Fax: 785-990-6266

info@mconunderground.com | www.mconunderground.com

QUOTATION OF WORK

CONTRACT ISSUED

REVISED

LATE BID

Date: 7/18/2023

AGREEMENT ENTERED INTO A/P SYSTEM

QUOTATION OF WORK TO:

Wilderness Falls, LLC – Phase 3

QUOTATION OF WORK:

Earthwork and Storm Per Plans Dated 6-2-23.

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXT PRICE
10	Mobilization	1.00	LS	\$1,000.00	\$1,000.00
20	Strip Site	1.00	LS	\$2,500.00	\$2,500.00
30	Site Cut (Private)	2,570.00	YDS	\$5.95	\$15,291.50
40	Site Cut (Public)	440.00	YDS	\$5.95	\$2,618.00
50	Site Fill and Compaction (Private)	1,620.00	YDS	\$3.10	\$5,022.00
60	Site Fill and Compaction (Public)	140.00	YDS	\$3.10	\$434.00
70	8" HDPE Storm Pipe	80.00	LF	\$25.00	\$2,000.00
80	10" HDPE Storm Pipe	120.00	LF	\$30.00	\$3,600.00
90	15" HDPE Storm Pipe	420.00	LF	\$42.00	\$17,640.00
100	18" HDPE Storm Pipe	40.00	LF	\$48.00	\$1,920.00
110	24" HDPE Storm Pipe	240.00	LF	\$59.00	\$14,160.00
120	Precast Curb Inlet	8.00	EA	\$5,800.00	\$46,400.00
130	Precast Storm Manhole	1.00	EA	\$4,600.00	\$4,600.00
140	Nyloplast Inlets	2.00	EA	\$4,300.00	\$8,600.00
150	Connect to Existing 24" Storm Pipe	1.00	EA	\$6,200.00	\$6,200.00
160	Remove and Replace Ex Watermain for Storm Inlets	3.00	EA	\$5,100.00	\$15,300.00
170	Erosion Control Per Plan Less Concrete Wash Out	1.00	LS	\$10,900.00	\$10,900.00
180	1" Water Service Line	546.00	LF	\$8.90	\$4,859.40
190	Water Service Taps	6.00	EA	\$750.00	\$4,500.00
200	Water Connection at Ex Curb Stop	3.00	EA	\$350.00	\$1,050.00
210	2" Water Line	103.00	LF	\$11.00	\$1,133.00
220	4" Sanitary Sewer Service	444.00	LF	\$53.00	\$23,532.00
230	Water Curb Stop and Box	6.00	EA	\$690.00	\$4,140.00
				Total	\$197,399.90

3010 3010
5,360 1760

TYPE | SUBCONTRACT
PROJECT | 23-004
VALUE | \$197,399.90
COST CODE | VARIES
APPROVED | CFS
DATE | 07.23.23

INCLUSIONS:

Includes all labor, material, and equipment to complete the scope items listed above. Utilities to within 5' of the building. No Sewer Cleanout quoted.

EXCLUSIONS:

Excludes permitting of any kind, testing of any kind, seeding and restoration of disturbed area, prevailing wage, special wages, bonding/bonding costs, costs associated with winter work, dewatering, traffic control, SWPPP Paperwork and Documentation, Soil Stabilization, Tree Removal, Rock Excavations, Dumping Fees, Unsuitable Materials, Top soil to remain on site in Spoil Pile and to be spread once construction is completed by others, Utility Work not quoted, paving replacement of any kind unless quoted, base rock, Cost Associated with Utility Conflicts except as quoted, cost associated with rework due to other contractors onsite, grading for sidewalks or curbs, and Survey.

SWPPP BUDGET INCLUDES COST OF REQUIRED INSPECTIONS, SWPPP SIGNAGE, AND CONCRETE WASHOUT REQUIREMENTS

Building Concrete			\$155,988.00	
1 4" slab-on-grade w/ 6x6 W1.4xW1.4 WWF o/ 15 mil. vapor barrier o/ 4" granular fill.	Building Slab	22,560 SF	Included	
Thickened slab edge as indicated.		1 LS	Included	
Sloped slab at garages.		1 LS	Included	
Rolled curbs as indicated.		1 LS	Included	
2 5" slab-on-deck w/ #4 at 12" o.c. EW. Refer to Detail 1 / S2.2.	Structural Porch	1 LS	Included	
3 Install WWF.		1 LS	Included	
4 Install reinforcing steel.		1 LS	Included	
5 15 mil vapor barrier.		1 LS	Included	
6 Supply and place 4" granular fill.		279 CY	Included	
7 Control joints as indicated.		1 LS	Included	
8 Isolation joints as indicated.		1 LS	Included	
9 2" R-10 rigid insulation at slab edge and 2' perimeter of building slab as indicated. Refer to Detail 1 and 4 / S2.2.		1 LS	Included	
Offsite Concrete Paving				
1 Finish grading of site (concrete paving areas) per plans, specifications, and geotechnical report.		17,801 SF	Included	
2 7" concrete pavement o/ 4" crushed concrete or limestone 1" minus o/ 9" prepared subgrade as indicated.		17,801 SF	\$132,395.00	
3 6" Integral concrete curb.		1,110 LF	\$16,650.00	
Onsite Concrete Paving				
1 Finish grading of site (concrete drive areas) per plans, specifications, and geotechnical report.		9,352 SF	Included	
2 5" concrete drives with 6x6 W1.4xW1.4 WWF o/ compacted subgrade as indicated.		9,352 SF	\$55,645.00	
3 Grind existing curb as indicated.		99 LF	\$990.00	
Onsite Concrete				
1 Finish grading of site (concrete sidewalk areas) per plans, specifications, and geotechnical report.		7,547 SF	Included	
2 4" concrete sidewalk as indicated.		7,547 SF	\$44,150.00	
3 ADA tactile domes.		6 EA	\$3,000.00	
4 6" concrete mailbox slab as indicated.		8 SF	\$80.00	
5 2' concrete flume as indicated.		332 LF	\$4,980.00	
			\$413,878.00	

Charles Stewart

From: Adam D <adam.d@flatworx402.com>
Sent: Tuesday, July 11, 2023 1:05 PM
To: Charles Stewart
Subject: Re: Porter Estates & Wilderness Falls

3

Sounds good and yes sir

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From: Charles Stewart <c.stewart@buildforten.com>
Sent: Tuesday, July 11, 2023 12:07:12 PM
To: Adam D <adam.d@flatworx402.com>
Subject: RE: Porter Estates & Wilderness Falls

We had another conference call with the client this week. We are getting closer. I hope to have some solid decisions late this week or early next week.

Just to confirm, the proposed number of \$413,878 includes the supply and placement of the base (4" granular fill under the building slabs and 4" crushed concrete or limestone 1" minus under the paving).



CHARLES P. STEWART
PRESIDENT | PRECONSTRUCTION & FINANCE
FORTEN BUILDING GROUP
114 LOCUST STREET
HICKMAN, NE 68372
C: 702.239.8674
O: 402.566.5050
E: C.STEWART@BUILDFORTEN.COM
BUILD FORTEN RIGHT

TYPE	SUBCONTRACT
PROJECT	23-004
VALUE	\$424,738
COST CODE	VARIES
APPROVED	CPS
DATE	07.24.23

From: Adam D <adam.d@flatworx402.com>
Sent: Thursday, July 6, 2023 5:07 PM
To: Charles Stewart <c.stewart@buildforten.com>
Subject: Re: Porter Estates & Wilderness Falls

I can make these numbers work. I was slightly above them with my numbers but I could do it for the \$413,878 flat work only

From: Charles Stewart <c.stewart@buildforten.com>
Sent: Thursday, June 29, 2023 4:48 PM
To: Adam D <adam.d@flatworx402.com>
Subject: RE: Porter Estates & Wilderness Falls

We are the apparent low bidder and it is our project.

Here is my takeoff and budget.

Total budget = \$413,878

Schedule attached.

The project is \$300K over budget so anything we can do to trim fat out of these number would help the project move forward.

Building Concrete				
1	4" slab-on-grade w/ 6x6 W1.4xW1.4 WWF o/ 15 mil. vapor barrier o/ 4" granular fill.	Building Slab	22,560	SF
	Thickened slab edge as indicated.		1	LS
	Sloped slab at garages.		1	LS
	Rolled curbs as indicated.		1	LS
2	5" slab-on-deck w/ #4 at 12" o.c. EW. Refer to Detail 1 / S2.2.	Structural Porch	1	LS
3	Install WWF.		1	LS
4	Install reinforcing steel.		1	LS
5	15 mil vapor barrier.		1	LS
6	Supply and place 4" granular fill.		279	CY
7	Control joints as indicated.		1	LS
8	Isolation joints as indicated.		1	LS
9	2" R-10 rigid insulation at slab edge and 2' perimeter of building slab as indicated. Refer to Detail 1 and 4 / S2.2.		1	LS

Offsite Concrete Paving				
1	Finish grading of site (concrete paving areas) per plans, specifications, and geotechnical report.		17,801	SF
2	7" concrete pavement o/ 4" crushed concrete or limestone 1" minus o/ 9" prepared subgrade as indicated.		17,801	SF \$
3	6" integral concrete curb.		1,110	LF \$

Onsite Concrete Paving				
1	Finish grading of site (concrete drive areas) per plans, specifications, and geotechnical report.	9,352	SF	Included
2	5" concrete drives with 6x6 W1.4xW1.4 WWF o/ compacted subgrade as indicated.	9,352	SF \$	55,645
3	Grind existing curb as indicated.	99	LF \$	990

Onsite Concrete				
1	Finish grading of site (concrete sidewalk areas) per plans, specifications, and geotechnical report.	7,547	SF	Included
2	4" concrete sidewalk as indicated.	7,547	SF \$	44
3	ADA tactile domes.	6	EA \$	3
4	6" concrete mailbox slab as indicated.	8	SF \$	
5	2' concrete flume as indicated.	332	LF \$	4

BESTCO SERVICES
6405 N 134th
Waverly, NE 68462
(402) 467-1806
info@bestcoservices.com

AGREEMENT
ENTERED INTO
A/P SYSTEM



Estimate

REVISED

23-004-027

09/09

32

ADDRESS

Wilderness Falls LLC
W 31st St. & Victory Way
Falls City, NE

ESTIMATE # 10079

DATE 08/30/2023

EXPIRATION DATE 09/29/2023

TYPE	750
PROJECT	23-004
VALUE	9,995.00
COST CODE	07.92.00
APPROVED	CP
DATE	09.09.23

DATE	ACTIVITY	QTY	RATE	AMOUNT
	Cold Pour Joint Sealant in parking lot Clean, prep and install BACKER ROD AND COLD POUR URETHANE joint sealant to parking lot joints. THIS ESTIMATE IS FOR PARKING LOT JOINTS BEING SAWED AT 10' x 12' PANELS. A 30 day cure is required in order for Bestco to warranty this product. General contractor is responsible for parking lot being cleared and cleaned. Includes 1 mobilization, additional mobilizations at \$400.00 each.	1	8,645.00	8,645.00
	Joint Seal Expansion Joint/Sidewalk to back of curb. Clean, prep and install URETHANE joint sealant to SIDEWALK. Includes sidewalk to driveways and Handicap ramps. General contractor is responsible for parking lot being cleared and cleaned. Includes 1 mobilization, additional mobilizations at \$400.00 each.	1	1,350.00	1,350.00

THIS SIGNED CONTRACT MAY BE CANCELLED BY EITHER PARTY WITHIN 3 BUSINESS DAYS FROM THE DATE OF SIGNING.

TOTAL

\$9,995.00

Accepted By

Accepted Date

This estimate is for work to be done Mon.-Fri., 6:00 a.m. to 5:00 p.m. MANDATORY WEEKEND WORK will require a price adjustment. Bestco REQUIRES 30 DAY ADVANCE NOTICE TO SCHEDULE PROJECTS. Areas of work must be dry, clean and clear.

INVOICE

REVISED**INVOICE NO:** 1817262-1**INVOICE DATE:** November 17, 2023**REMIT TO:** ISG-TEAM, Inc.4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914**BILL TO:** Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505**PROJECT:** Wilderness Falls III
Falls City, NE
No: 72-196Services for period of 10/1/2023 through 10/31/2023
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	12.00	hour	Field Concrete Testing and Rebar Inspection	63.00	756.00
2	6.00	hour	Coordination & Project Management	60.00	360.00
3	34.50	hour	Cancellation after Arrival	63.00	2,173.50
4	55.25	hour	Field Compaction Testing	63.00	3,480.75
5	8.25	hour	Field Compaction Testing [OT]	94.50	779.63
6	4.75	hour	Field Concrete Testing	63.00	299.25
7	2.00	hour	Sample Pickup	63.00	126.00
8	24.00	test	Compressive Strength Tests of 4 x 8 in. Cylinder, including Molds	18.00	432.00
9	2495.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	2,844.30
10	2495.00	mile	Fuel Surcharge	0.14	349.30

Invoice Total: 11600.73**Amount Received:** \$0.00**Amount Due:** \$11,600.73

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 11/17/2023Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81**Budget summary through: 05/29/2024**Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)**Pay by Credit Card**☐ Master Card ☐ Visa ☐ Am. Ex. ☐ Discover

Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE

REVISED



INVOICE NO: 1817378-4

INVOICE DATE: December 18, 2023

REMIT TO: ISG-TEAM, Inc.

4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 11/1/2023 through 11/30/2023
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	3.50	hour	Coordination & Project Management	60.00	210.00
2	14.50	hour	Cancellation after Arrival	63.00	913.50
3	57.75	hour	Field Compaction Testing	63.00	3,638.25
4	1527.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	1,740.78
5	1527.00	mile	Fuel Surcharge	0.14	213.78
6	0.50	project	Project Setup Fee	190.00	95.00

Invoice Total: 6811.31

Amount Received: \$0.00

Amount Due: **\$6,811.31**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 12/18/2023

Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)

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Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE

REVISED



INVOICE NO: 1817692-1
INVOICE DATE: January 10, 2024

REMIT TO: **ISG-TEAM, Inc.**
4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 12/1/2023 through 12/31/2023
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	3.00	hour	Coordination & Project Management	60.00	180.00
2	3.00	hour	Field Compaction Testing	63.00	189.00
3	3.00	hour	Field Concrete Testing	63.00	189.00
4	0.50	hour	Sample Pickup	63.00	31.50
5	222.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	253.08
6	222.00	mile	Fuel Surcharge	0.14	31.08

Invoice Total: 873.66

Amount Received: \$0.00

Amount Due: **\$873.66**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 1/10/2024

Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)

Pay by Credit Card

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Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE

REVISED



INVOICE NO: 1817950-1
INVOICE DATE: February 14, 2024

REMIT TO: ISG-TEAM, Inc.
4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 1/1/2024 through 1/31/2024
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	1.25	hour	Coordination & Project Management	60.00	75.00
2	3.50	hour	Field Compaction Testing	63.00	220.50
3	3.00	hour	Field Concrete Testing	63.00	189.00
4	3.75	hour	Sample Pickup	63.00	236.25
5	4.00	test	Compressive Strength Tests of 4 x 8 in. Cylinder, including Molds	18.00	72.00
6	330.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	376.20
7	330.00	mile	Fuel Surcharge	0.14	46.20

Invoice Total: 1215.15

Amount Received: \$0.00

Amount Due: **\$1,215.15**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 2/14/2024

Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)

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Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE

REVISED



INVOICE NO: 1818018-1
INVOICE DATE: March 8, 2024

REMIT TO: **ISG-TEAM, Inc.**
4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 2/1/2024 through 2/29/2024
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	4.00	hour	Coordination & Project Management	60.00	240.00
2	11.00	hour	Field Compaction Testing	63.00	693.00
3	20.00	hour	Field Concrete Testing	63.00	1,260.00
4	1.00	hour	Field Concrete Testing [OT]	94.50	94.50
5	15.00	hour	Sample Pickup	63.00	945.00
6	16.00	test	Compressive Strength Tests of 4 x 8 in. Cylinder, including Molds	18.00	288.00
7	1650.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	1,881.00
8	1650.00	mile	Fuel Surcharge	0.14	231.00

Invoice Total: 5632.50

Amount Received: \$0.00

Amount Due: **\$5,632.50**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 3/8/2024

Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)

Pay by Credit Card

☐ Master Card ☐ Visa ☐ Am. Ex. ☐ Discover

Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE



INVOICE NO: 1818677-0
INVOICE DATE: May 28, 2024

REMIT TO: **ISG-TEAM, Inc.**
4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 4/1/2024 through 4/30/2024
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	4.00	hour	Coordination & Project Management	60.00	240.00
2	8.00	hour	Field Concrete Testing	63.00	504.00
3	1.00	hour	Field Concrete Testing [OT]	94.50	94.50
4	8.50	hour	Sample Pickup	63.00	535.50
5	21.00	test	Compressive Strength Tests of 4 x 8 in. Cylinder, including Molds	18.00	378.00
6	530.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	604.20
7	530.00	mile	Fuel Surcharge	0.14	74.20

Invoice Total: 2430.40

Amount Received: \$0.00

Amount Due: **\$2,430.40**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 5/28/2024

Total billed: \$46,863.41
Total Received: \$11,840.20
Balance: \$35,023.21

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$46,863.41
Budget Remaining: (\$22,857.01)

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Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email

INVOICE

REVISED

INVOICE NO: 1818018-1
INVOICE DATE: March 8, 2024

REMIT TO: **ISG-TEAM, Inc.**
4722 S. 135th St.
Omaha, NE 68137
ph: 402-614-6957
fax: 402-934-5359
EIN No. 84-3134914

BILL TO: Nick Zeller
Excel Development Group
8551 Lexington Ave
Lincoln, NE 68505

PROJECT: **Wilderness Falls III**
Falls City, NE
No: 72-196

Services for period of 2/1/2024 through 2/29/2024
Reference: Construction Testing Services

ITEM	QTY	UNITS	DESCRIPTION	UNIT PRICE	AMOUNT
1	4.00	hour	Coordination & Project Management	60.00	240.00
2	11.00	hour	Field Compaction Testing	63.00	693.00
3	20.00	hour	Field Concrete Testing	63.00	1,260.00
4	1.00	hour	Field Concrete Testing [OT]	94.50	94.50
5	15.00	hour	Sample Pickup	63.00	945.00
6	16.00	test	Compressive Strength Tests of 4 x 8 in. Cylinder, including Molds	18.00	288.00
7	1650.00	mile	Transportation Charges, Private Car or Company Vehicle	1.14	1,881.00
8	1650.00	mile	Fuel Surcharge	0.14	231.00

Invoice Total: 5632.50

Amount Received: \$0.00

Amount Due: **\$5,632.50**

TERMS: 1.5% Interest per month will be added after 30 days.

Billing summary through: 3/8/2024

Total billed: \$44,433.01
Total Received: \$11,840.20
Balance: \$32,592.81

Budget summary through: 05/29/2024

Project Budget: \$24,006.40
Total Billed: \$44,433.01
Budget Remaining: (\$20,426.61)

Pay by Credit Card

☐ Master Card ☐ Visa ☐ Am. Ex. ☐ Discover

Name on Card :

Card Number :

Exp. Date (MM/YY) : CVC: Zip Code:

Invoice Delivery: Email



REPORT TO MAYOR & COUNCIL PERSONS

FROM ANTHONY NUSSBAUM
CITY ADMINISTRATOR

REGARDING RWHF Applications

DATE September 15, 2024

Overview: The Rural Workforce Housing Application for the property at 1612 Fulton Street outlines three potential options for the construction of a residential home. See attached street view of the proposed build site and building plans. All options comply with the program's requirement that the property sale does not exceed \$325,000.

Option 1:

- **Description:** Construction of a 2-bedroom, 1-bathroom home on an unfinished basement.
- **Contractor:** SEND Contracting
- **Total Cost:** \$282,900

Option 2:

- **Description:** Construction of the same 2-bedroom, 1-bathroom home on an unfinished basement as in Option 1.
- **Contractor:** Jackson Construction
- **Total Cost:** \$318,745

Option 3:

- **Description:** Construction of a 4-bedroom, 2-bathroom home.
- **Contractor:** SEND Contracting
- **Total Cost:** \$317,900

Considerations:

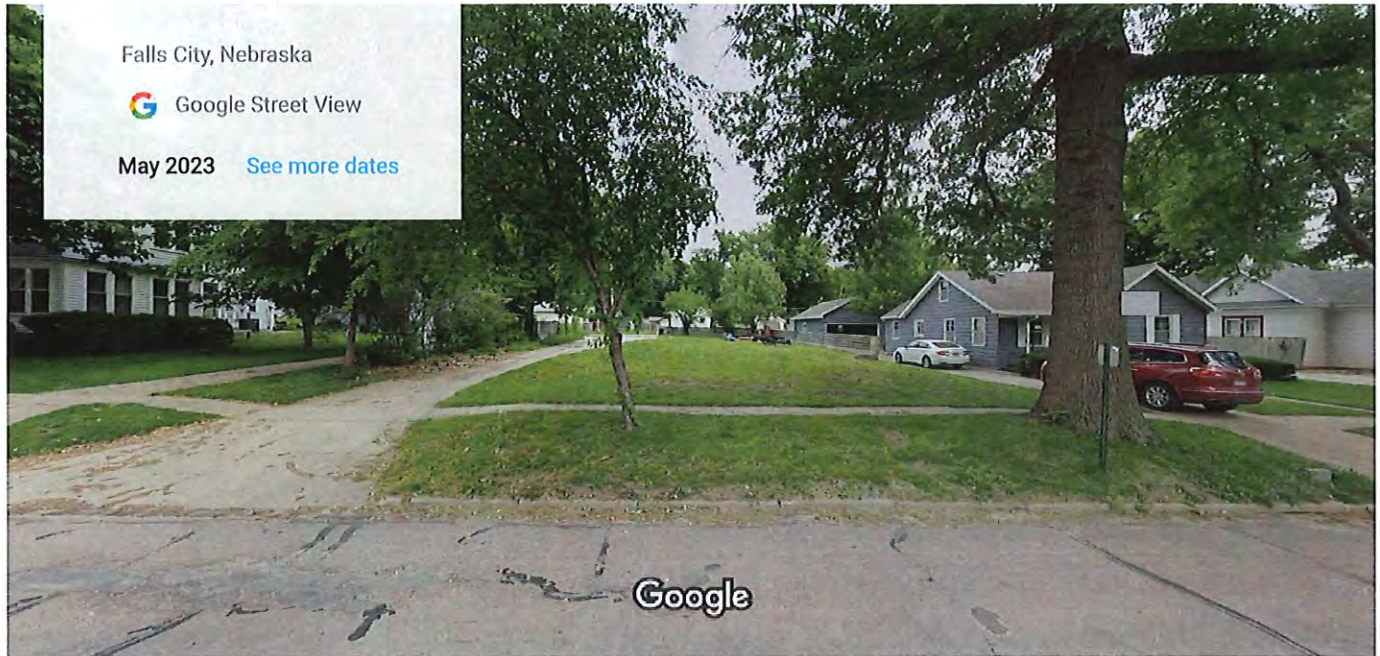
- The sale price for the property cannot exceed \$325,000 as per the Rural Workforce Housing guidelines.
- Option 1 provides a more cost-effective solution with SEND at \$282,900, significantly below the maximum sale price cap.
- Option 2, while offering the same layout as Option 1, is approximately \$35,845 higher due to the use of Jackson Construction.
- Option 3 offers additional living space with 4 bedrooms and 2 bathrooms at a competitive price of \$317,900, slightly below the maximum allowable sale price.

Recommendation: Council may want to consider the budget constraints, the potential buyer's needs for space, and the price competitiveness of each contractor when making a decision. All three options meet the housing program requirements. Option 1 is the most economical, Option 2 utilizes local contractors, while Option 3 provides a larger home for a price near the sale cap.

Respectfully,

Anthony Nussbaum
City Administrator/Clerk/Treasurer

Google Maps 1612 Fulton St



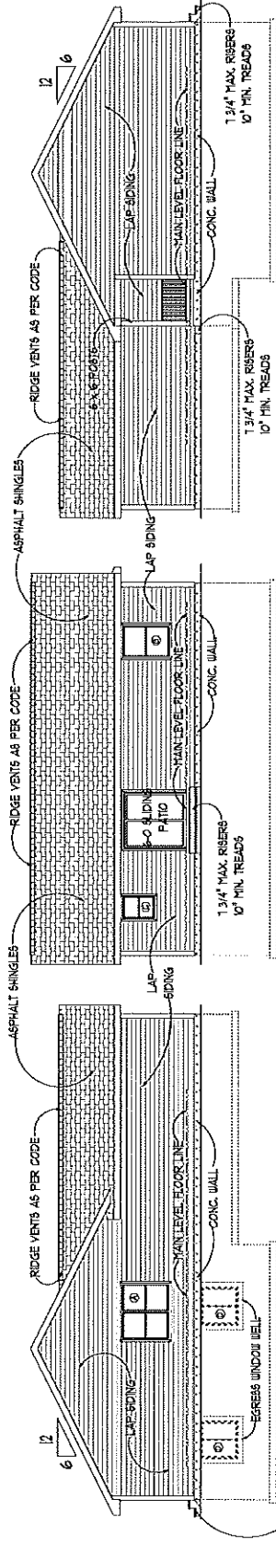
Falls City, Nebraska

Google Street View

May 2023 [See more dates](#)

Image capture: May 2023 © 2024 Google

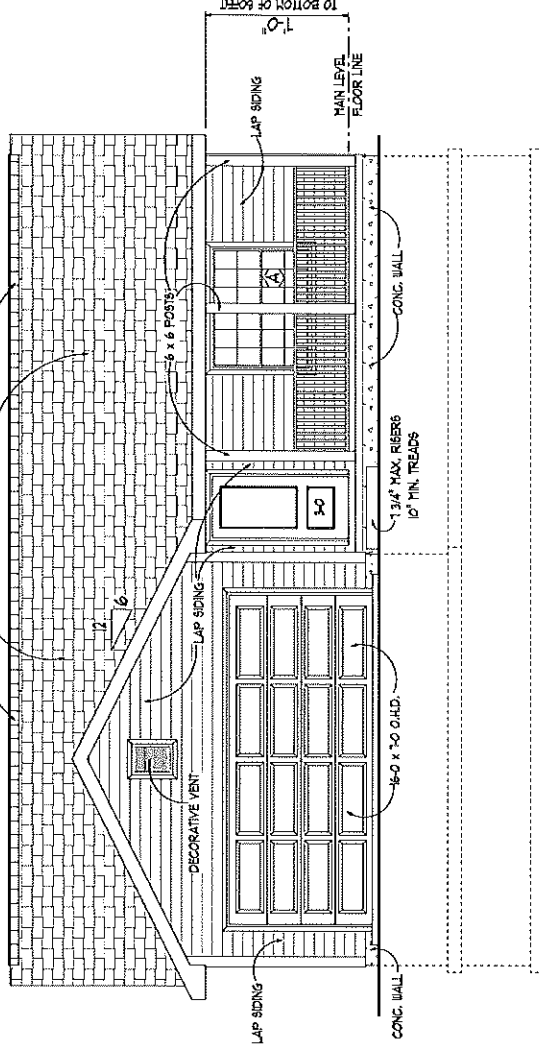




LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

REAR ELEVATION
SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:
1. RIDGE VENTS AS PER CODE
 2. ASPHALT SHINGLES ON ALL ROOF SURFACES.
 3. PROVIDE RAIN GUTTERS AS NEEDED.
 4. ALL ROOF PITCHES AS INDICATED.
 5. OVERHANGS: 6" @ 20' GABLE ENDS = 12'.
 6. TRUSS ROOF DETAILS AS PER TRUSS MANUF.

ROOF PLAN
SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE *						
KEY NO	SIZE	MANUF.	R.O.	GLASS SZ.	STYLE	HOR. EGRESS
1	3050-2	ANDERSEN	6'-0" x 5'-0"	2'-5 1/4" x 2'-1 9/16"	SINGLE HUNG	LVL YES
2	3650		3'-6" x 5'-0"	2'-1 1/4" x 2'-1 9/16"		(3)/2/2 YES
3	2636		2'-6" x 3'-6"	1'-1 1/4" x 1'-4 9/16"		NO
4	4040		4'-0" x 4'-0"	1'-7 9/16" x 3'-5 1/4"	SLIDER	

*TO BE APPROVED BY CONTRACTOR PRIOR TO ORDERING

Designer is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. Because these plans are not intended for use on your specific site, consult your construction professional to determine the suitability of these plans for your specific site and application.

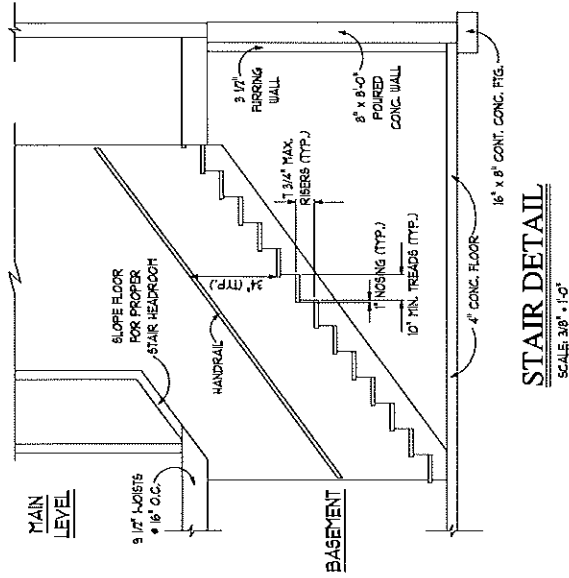
NEW VENTURES
RESIDENTIAL DESIGN

The Trade Center
6031 South 58th Street, Suite C
Lincoln, NE 68516
Phone: (402) 420-0088
Fax: (402) 420-0089
www.newventures.com

NY06/24
FALLS CITY (EDGE)
RANCH PLAN
SHT 3 OF 1

CONSTRUCTION FROM THIS PLAN IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER. NEW VENTURES, INC. IS HEREBY RELEASED OF ANY LIABILITY THAT MAY ARISE DURING CONSTRUCTION OR ANYTIME THEREAFTER.

NOTE:
ALLOW 6'-8" MIN.
STAIR HEADROOM



STAIR DETAIL

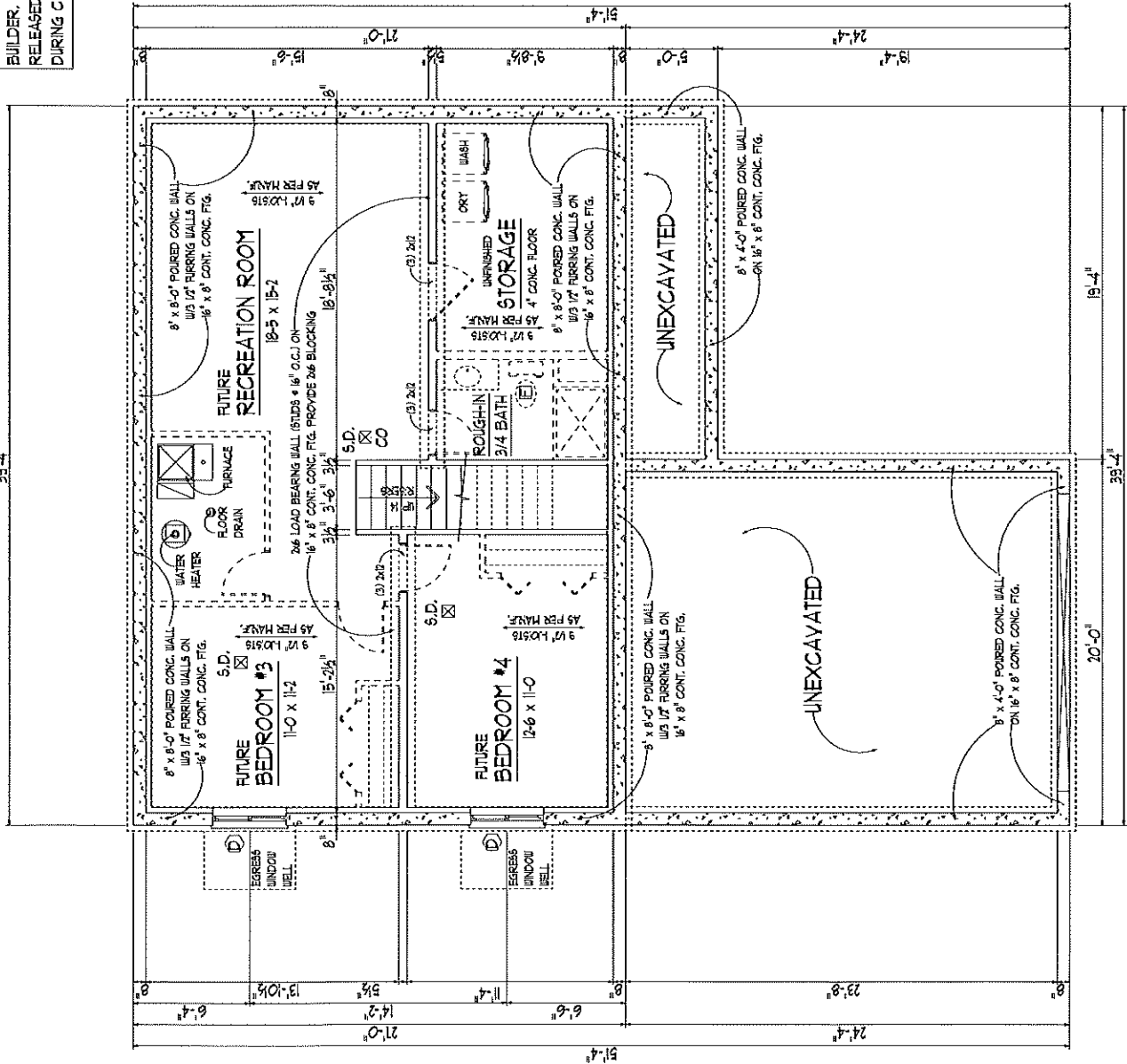
SCALE 3/8" = 1'-0"

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

FUTURE FINISHED BSMT. 171 SQ. FT.

NOTE:
8'-0" FOUNDATION WALL HEIGHT UNLESS OTHERWISE SPECIFIED.



Designer is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. Those who construct from these plans do so at their own risk. The designer does not warrant the accuracy of the information for use on your specific site. Consult your construction professional to determine the suitability of these plans for your specific site and application.



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NY0624
FALLS CITY (EDGE)
RANCH PLAN
SHT 4 OF 1

CONSTRUCTION FROM THIS PLAN IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER. NEW VENTURES, INC. IS HEREBY RELEASED OF ANY LIABILITY THAT MAY ARISE DURING CONSTRUCTION OR ANYTIME THEREAFTER.

NOTE:
9'-0" CEILING HEIGHT
ON MAIN LEVEL UNLESS
OTHERWISE SPECIFIED.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

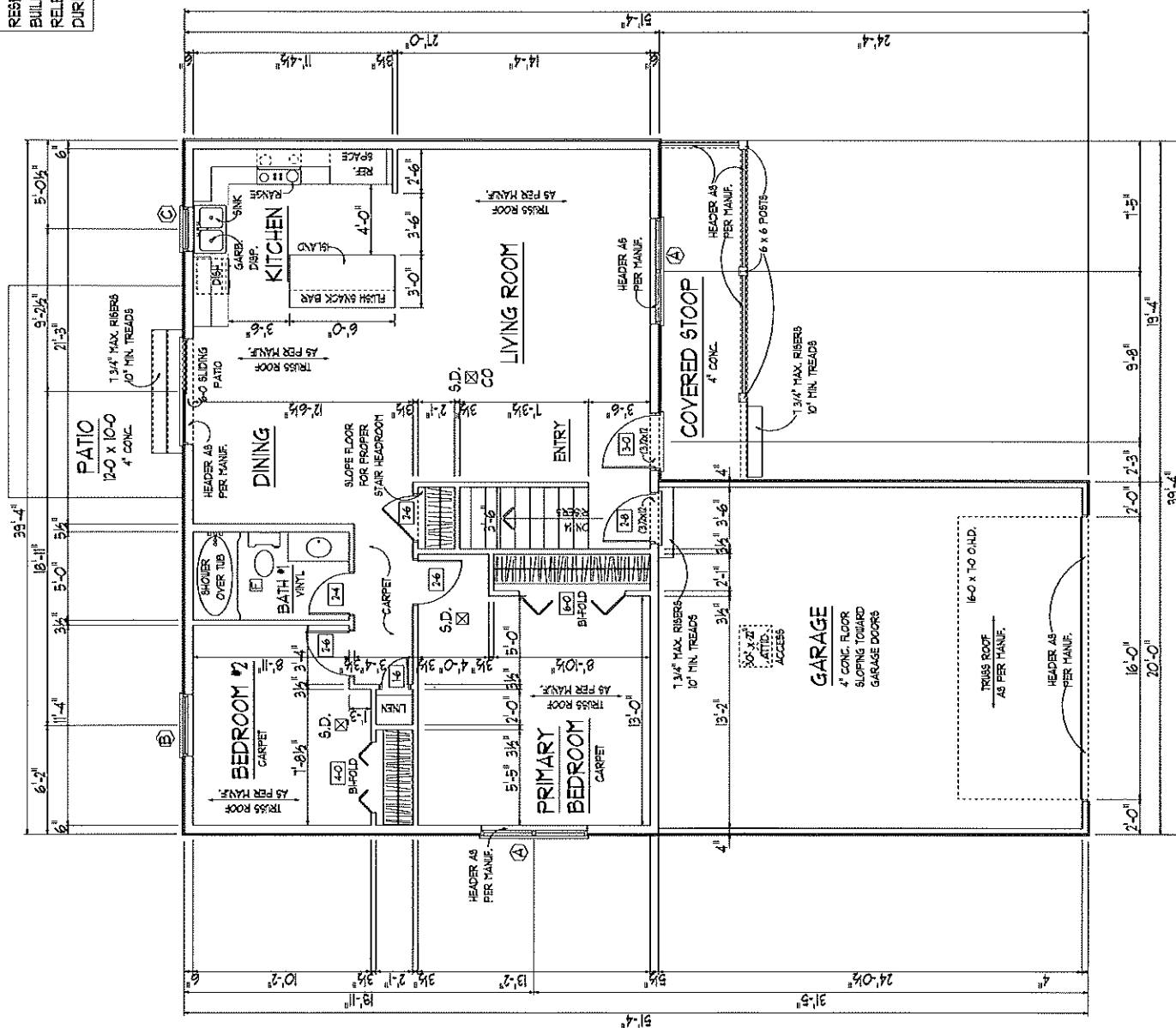
MAIN LEVEL 1062 SQ. FT.

GARAGE 448 SQ. FT.

Designer is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. Because the construction of this plan is not intended for use on your specific site, consult your construction professional to determine the suitability of these plans for your specific site and application.

new VENTURES
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Lincoln, NE 68516
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Fax: (402) 420-0089
www.newventures.com

NY06124
FALLS CITY (EDGE)
RANCH PLAN
SHT 5 OF 7






Anthony Nussbaum

From: Lucas Froeschl <director@fallscityedge.com>
Sent: Thursday, August 22, 2024 11:06 AM
To: Anthony Nussbaum
Cc: Blake Buckminster
Subject: RE: Housing Board - RWHF Applications

Anthony,

Here are the 3 applications for review by Housing Board, plus a 4th quote for Jackson to finish basement. I think we need to show an apples-to-apples comparison with unfinished basements, then SEND's alternate option with finished basement.

\$282,900 (2bed, 1ba, SEND):  [RWHF Application - Falls City SEND Contracting.pdf](#)
\$317,900 (4bed, 2ba, SEND):  [RWHF Application - Falls City SEND Finished Basement.pdf](#)
\$318,745 (2bed, 1ba Jackson):  [RWHF Application - Falls City 2024 Jackson COMBINED.pdf](#)
\$356,855 (4bed, 2ba, Jackson): Jackson Construction can finish the basement for \$38,110, but we can't sell house for more than \$325k. This would be a separate contract between new homeowner and Jackson Construction.

Lucas Froeschl
Falls City, NE (EDGE)
Cell: 402-245-8435

From: Lucas Froeschl
Sent: Tuesday, August 20, 2024 9:54 AM
To: Anthony Nussbaum <a.nussbaum@fallscityne.us>
Cc: Blake Buckminster <b.buckminster@fallscityne.us>
Subject: Housing Board - RWHF Applications

Anthony,

I believe we are ready to schedule a Housing Board meeting to discuss the Rural Workforce Housing Fund project at 1612 Fulton St. The full application files are massive, so I linked them below.

- The SEND Contracting file was prepared by Jim and should be ready.
- I attached Joe Jackson's bid in case you want to make any changes.
 - Pages 10-13 don't need filled out since the City will be the financier.
 - The images on page 14 were prepared by Kate Keithley and are conceptual only.
- The next SENAHC meeting is 9/18/24, so the goal would be Council approval by Monday 9/16.

 [RWHF Application - Falls City SEND Contracting.pdf](#)

 [RWHF Application - Falls City 2024 Jackson COMBINED.pdf](#)

Lucas Froeschl
Executive Director, Falls City EDGE
Falls City Economic Development & Growth Enterprise, Inc.
1705 Stone St. | PO Box 574, Falls City, Nebraska 68355



SERVING SOUTHEAST NEBRASKA

Rural Workforce Housing Fund DEVELOPER LOAN APPLICATION

INSTRUCTIONS

****PLEASE READ THESE INSTRUCTIONS CAREFULLY BEFORE PROCEEDING-
INCOMPLETE APPLICATIONS WILL BE RETURNED TO APPLICANTS****

Completed applications will be reviewed on an as needed basis following submission to the Rural Workforce Housing Fund review committee, who will make a recommendation (along with loan terms and provisions) to the Southeast Nebraska Affordable Housing Council Board, who will make a final approval or denial. A non-refundable application fee of 1.0% of the loan amount may be requested with the completed application. Submit only the completed and signed application forms and all required attachments. Incomplete applications will not be reviewed until all sections are complete and all required information is submitted. The SENAHC Board of Directors and RWHF Committee may waive specific requirements and/or forms.

The following items make up the application packet:

SECTION 1. Complete all sections regarding the applicants information including full legal name, address, Federal Employer Identification number, etc. Applications must be signed by an authorized representative of the business/entity applying for funds.

SECTION 2. Provide detailed information on the business's history, organization, the proposed project, the timeline for implementation, and project costs.

SECTION 3. A primary goal of the RWHF program is to increase affordable housing opportunities and stabilize existing availability of workforce housing in the region. Provide detailed information on the current housing market and projected results of the project, including projected resale value and number of units being developed.

SECTION 4. Provide detailed information on the budget for the project. Additional sheets may be attached if necessary. Include detailed information on the sources and terms of all funds in the project.

Applicants may propose specific loan terms (Section 4.3) on a RWHF loan, although the actual terms extended if a loan is approved may vary after review by the RWHF review committee and approval of the SENAHC Board of Directors.

SECTION 5. Provide information on all existing and proposed debts and collateral of the business or project, and describe the security being offered for the RWHF loan (i.e., 2nd Mortgage, 1st lien on business assets, etc.). Please note that the review committee may require alternate or additional security from that offered by the applicant.

SECTION 6. Complete and sign all required forms. Attach additional required and non-required items per instructions.

****APPLICATIONS WILL BE REVIEWED ON AN AS NEEDED BASIS. PLEASE CONTACT SENDD OR A RURAL
WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR SUBMISSION DEADLINES.****

ELIGIBILITY: SENAHC Workforce Housing Loan Fund PROVIDES NONTRADITIONAL LOANS TO ASSIST WITH THE PRODUCTION OF WORKFORCE HOUSING. NO APPLICANT SHALL, ON THE GROUNDS OF RACE, COLOR, OR NATIONAL ORIGIN, BE EXCLUDED FROM PARTICIPATION IN, BE DENIED THE BENEFITS OF, OR BE SUBJECTED TO DISCRIMINATION IN ACCORDANCE WITH TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED. MHDF ALSO COMPLIES WITH TITLE IX OF THE EDUCATION AMENDMENTS OF 1972, SECTION 504 OF THE REHABILITATION ACT OF 1973, THE AGE DISCRIMINATION ACT OF 1975, THE DRUG ABUSE OFFICE AND TREATMENT ACT OF 1972, THE COMPREHENSIVE ALCOHOL ABUSE AND ALCOHOLISM PREVENTION, TREATMENT AND REHABILITATION ACT OF 1970, SECTION 523 AND 527 OF THE PUBLIC HEALTH SERVICE ACT OF 1912 AND TITLE VIII OF THE CIVIL RIGHTS ACT OF 1968.

SEND 4 Bed 2 Bed
2 Bath 1 Bath
unfinished
basement



7407 O St
Lincoln, NE 68510
(402) 475-2560 • FAX (402) 475-2794

FOR OFFICE USE ONLY

DATE RECEIVED: _____ STAFF: _____
COMMITTEE REVIEW: _____ BOARD: _____
PROJECT NUMBER: _____

Rural Workforce Housing Fund Application

PLEASE TYPE OR PRINT

SECTION 1. APPLICANT/DEVELOPER INFORMATION			
BORROWER NAME*	City of Falls City		
FED. ID #*	47-6006187		
ADDRESS*	2307 Barada Street		
CITY/STATE*	Falls City, NE	ZIP CODE*	68355
CONTACT PERSON*	Terry Manson	E-MAIL*	tmanson@sendd.org
PHONE*	402-475-2560	FAX	
I, the undersigned, hereby give permission to SENAHC to research the company's history, make personal credit checks for major shareholders, contact the company's financial institution(s), and perform any other related activities for the reasonable evaluation of this project and the financial information contained herein.			
TYPED NAME COMPANY OFFICER*	Mark Harkendorff, Mayor	DATE*	
SIGNATURE*			

*Indicates required information

****APPLICATIONS WILL BE REVIEWED ON A QUARTERLY BASIS OR AS RECEIVED. PLEASE
CONTACT SENDD OR A RURAL WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR
SUBMISSION DEADLINES.****

SECTION 2. DEVELOPER & PROJECT INFORMATION.			
2.1 Developer/Project Information			
DEVELOPER NAME* SENDD Contracting			
Owner of Project* City of Falls City			
PROJECT ADDRESS* 1612 Fulton Street			
CITY/STATE* Falls City, NE		ZIP CODE* 68355	
2.1 Provide a brief description of development history. (Attach photos/documentation if applicable)			
<p>The City of Falls City will be partnering with SENDD Contracting on this project. SENDD Contracting is a State-registered general contractor that is comprised of the Southeast Nebraska Development District (SENDD) Housing Team. With a combined 90 plus years of experience and over 2,300 successful residential and commercial construction projects under their belt, SENDD Contracting is an experienced and adept team. Keeping in line with their primary goal of meeting customers' needs through quality workmanship and building valued relationships, SENDD Contracting offers regional services throughout southeast Nebraska, including: pre-construction consultation, job site and project management, administrative support, and document control. The team evaluates each individual project for constructibility, cost estimation, and construction scheduling, all while maintaining consistent communication with property owners and/or investors to ensure all project objectives are met and exceeded.</p> <p>Included in SENDD Contracting's robust project history, are several homes that were selected for the purchase-rehab-resell (PRR) process. Over the past two years, SENDD Contracting has overseen the successful completion of over 15 PRR projects throughout southeast Nebraska, including: four projects Geneva, two in Peru, one in Doshier, one in Seward, one in Nebraska City, one in Stromsburg, and eight in York. They have recently completed several successful new construction projects throughout the region (Nebraska City, Henderson, Geneva, & Fairbury). They are actively managing three additional new construction projects in Geneva, three in Thayer County, two in Auburn, and two in Pawnee City, while pursuing similar projects throughout the region. The combined successes of these experiences have allowed SENDD Contracting to develop a niche for operating timely and cost-efficient projects. Having observed the impact of these housing projects throughout their region, the team looks forward to engaging in more of these projects to further develop new housing and to update and stabilize the housing stock throughout southeastern Nebraska, while also providing safe, decent, and affordable housing to members of the region's workforce population within the SENDD member counties and communities.</p>			
2.2 Describe in detail the proposed project for which funding is requested (include amenities).			
<p>SENDD Contracting staff have been working with the local representative from the City of Falls City & Falls City Edge to create opportunities for much needed new residential housing within their community. The proposed project will be built on a lot Southeast Nebraska Land Bank (SNLB) owned lot utilizing SENDD Contracting services as a general contractor to complete the unit. The lot is located in an existing established area of Falls City, NE with all infrastructure in place. This lot was selected because it's in an established area of town in close proximity to all resources that Falls City has to offer. This area offers easy access to all areas of town situated between the schools. Several local business, organizations, & City and officials realize there is a glaring need for new residential construction in Falls City to help support the demand for local employment. Local business find it difficult to attract and maintain much needed workforce due to the lack of inventory. There is a significant need for new single-family housing construction in Falls City. Recent data provided from the U.S. Census (2022 American Community Survey) shows that there are approximately 1,893 occupied households in the community. Of this number, an overwhelming 1,676 homes are listed as having been constructed prior to 1980, while 706 of these units predate 1940. This is especially concerning because the potential for deterioration and unsafe living conditions increases exponentially for homes aged 40+ years. According to the data, only around 215 Falls City homes are newer than 40 years old.</p> <p>Falls City's disproportionately aged housing stock often fails to meet the needs of modern families. Many of the older homes are smaller, include outdated electrical wiring/other city building code violations, do not include accessibility features, and are located on lots lacking in space and adequate shelter for families' vehicles. If approved, this RWHF application will result in the creation of a much-needed single-family home that will accommodate the needs of a modern workforce family. An investment in the improvement of Falls City's housing stock will help provide stability for years to come- for both the homebuyers and the overall community, as there is a direct correlation between quality, affordable housing availability and the ability to retain residents. The City of Falls City is the perfect location to implement this project, as its status as the county seat and a regional commerce center have established it as a popular hub for employment, recreation, and healthcare services. This lot was selected because it is a very nice in-fill lot located in ideal area of town, with tons of potential. If approved, this project has potential to spiral into several future applications establishing the foundation for several future projects.</p> <p>The total cost of the project (including the lot) is estimated at \$289,150. See the attached plans and building details. The City will partner with SENDD Contracting for the project management and construction of the unit. The house will be available and listed for sale upon approval of the application with the anticipation of a receiving an offer from a pre-qualified buyer prior to completion. Upon SENAHC committee approval, the application will go to the SENAHC board for final approval. The City will payoff the loan and SENAHC loan fees at the time of sale & closing of the property. This will net SENAHC approximately \$2,500 in sale proceeds at closing. The City will provide the lot and will be responsible for all holding and closing costs associated with ownership.</p> <p>The house will be built as a 1,062 sq ft, 2 bedroom, 1 Bathroom ranch layout with an attached two stall garage. It also has an unfinished full basement with rough-in for an additional bathroom, two bedrooms, & family room. It will be wood framed and feature 2"x6" exterior walls with 2"x4" interior and 6" ceilings throughout. The exterior will include vinyl siding, a covered front porch, & back patio slab. See attached plans.</p>			

2.3 Provide a brief timeline for the proposed project, including the dates the project will begin and be completed. If any part of the project has already started, please explain.

The City will provide the lot, building plans, and building permit fees for a value estimated roughly \$10,000. This is a large lot located in a great location. Local officials have reviewed the project and the proposed house plan for building and conclude that this is the exact size, style, and price point of house desperately need in Falls City. If the project is approved, we will begin ground work within 10-20 days. The total estimated time of the project completion will be 6-8 months from the time of groundbreaking. This time frame will allow for a completion date of March - April, 2025.

2.4 Provide a description of the project costs. Include details on specific construction costs.

One Unit: 1612 Fulton Street - Falls City, NE

Lot/fees/site prep/building plans: City	\$10,000 - Project Equity
Construction Costs: City	\$282,900 - Associated Construction Expenses
Additional Fees:	\$0.00
Total Loan Request:	\$282,900

Anticipated Sale: \$286,000 - \$295,000
Projected Payoff to SENAHC: \$285,400 - includes \$2,500 Loan Fee

Additional Costs: City
Project Holding / closing: \$4,500

The City of Falls City is an original investor/partner in the SENAHC RWHF application and has contributed \$200,000 to the matching portion of the fund which generated an additional \$250,000 in grant funds. These figures are also to be considered as equity in this project.

SECTION 3. DEVELOPMENT/SITE INFORMATION.	
3.1 Site Description	
Zoning Type*	Medium Density Residential (R-2)
Current Ownership of Site*	Southeast Nebraska Land Bank - City of Falls City
Site description (include current use of site):	
<p>The Southeast Nebraska Land Bank will, upon approval of this application, provide the vacant dirt lot at 1612 Fulton Street, Falls City, NE. This lot is in convenient central location in Falls City. The lot is roughly 10,650 SF (75'x142') with a flat grade ideal for full basement construction. The proposed house plan of 1,062 sq. feet will fit nicely on the selected lot leaving plenty of yard space to be consistent within the neighborhood.</p>	
3.2 Availability of utilities to site.	
<p>All utilities are currently available; Sewer, Water, Electricity, and Gas. All the Infrastructure is in place and ready to build.</p>	
3.3 Potential environmental issues on site.	
<p>None are noted. Not in 100 year flood plain.</p>	
3.4 Participating Lenders (if applicable).	
Lending Institution	SENAHC
3.4 Selected Contractors (if applicable).	
Project Architect	New Ventures
General Contractor	SEND D Contracting
Property Manager	Terry Manson
Other Project Team Members	Local: Lucas Froaschi, Anthony Nussbaum - SEND D: Jim Warrelmann, Brent Pendgraft, Ryan Bauman, Cole Harterink, Nichole Jones & Amanda Stutzman

SECTION 4. PROJECT BUDGET (SOURCES & USES OF FUNDS)

4.1 Project Costs (Sources & Uses of Funds)

Activity	Equity	RLF	Bank	State Assistance	Other	Total
Building/Property Acquisition	10000.00	0.00	0.00	0.00	0.00	\$ 10,000.00
Building construction or remodeling	0.00	282900	0.00	0.00	0.00	\$ 282,900.00
Site Development/Utilities						\$ 0.00
Other (specify below)						\$ 0.00
Total	10000	282900	0	0	0	\$ 292,900.00

4.2 Proposed Financing Sources & Terms

Financing Terms

RWHF Request Amount (from 4.1 Table above)

\$ 282,900

Interest Rate Requested

_____ %

Term Length (number of years, balloon, etc.)

1 year

Other terms (explain):*

Bank Financing Amount (from 4.1 Table above)

\$ _____

Interest Rate

_____ %

Payment terms (monthly, quarterly, etc.)

Payment Amount**

\$ _____

Other terms (explain)

TOTAL MONTHLY DEBT SERVICES (all payments, including RLF, bank, etc.)

\$ _____

*Loans may be offered with different terms than those requested.

**If multiple loans are involved, please include additional sheets detailing each loan, and enter combined payment amounts on this page.

SECTION 5. COLLATERAL/GUARANTOR

5.1 What type of security (i.e., mortgage, UCC-1 filing, automobile lien, etc.) and what position (first, second, etc.) will the guarantor provide to SENAHC to secure this loan. Provide a listing of all current and proposed liens against the property as well as any outstanding litigation against the guarantor(s),

Deed of Trust on both lots in senior position. Security agreement and UCC-1 financing statement in senior position. All current liens to be paid at closing to provide a free and clear title to the City.

Is any employee, board member, director, or controlling group of SENAHC an officer, director, or holder of any direct or indirect pecuniary interest of the developer?

☒ NO

☐ YES (explain below):

**Lists of these persons will be provided upon request.

SECTION 7. ATTACHMENTS

READ CAREFULLY AND INCLUDE ALL NECESSARY ATTACHMENTS

- * Attachment A-1 to A-2: Potentially Required forms for all applicants that are part of this application.
Attachments A-3 to A-14: not part of this application but may be applicable depending on the project.

Incomplete applications will not be reviewed.

Check

- A-1 ☒ *Environmental Assurance and Compliance Commitment
- A-2 ☐ *Financial Statements
- A-3 ☐ Organization documents of the borrower and all guarantors (formation documents such as Articles and Bylaws).
- A-4 ☐ Current Certificate of Good Standing for the borrower and all guarantors.
- A-5 ☐ Current financial statements of borrower and all guarantors (audited if available).
- A-6 ☐ Detail of outstanding litigation against borrower, developer or any guarantor.
- A-7 ☒ Bios/resumes for development team.
- A-8 ☐ Project financing information including timing assumptions, development sources and uses of funds and a 15 year operating proforma (operating income and expenses).
- A-9 ☒ Project drawings and specifications as available.
- A-10 ☒ Evidence of site control. (Ownership/Contracts)
- A-11 ☐ Lenders title insurance commitment if a real estate lien will be used for collateral.
- A-12 ☐ Independent appraisal of the property involved (if purchase is part of project)
- A-13 ☐ Copy of deed to the property involved (required if purchase is part of project or mortgage on property is being offered as loan collateral)
- A-14 ☒ Other attachments (describe):
See attachment Exhibit A: Scope of Services, House Plans, Site Photo, Flood map, Staff Bios, & Previously Completed Project Photos
Contracts Available upon Request

**A-1: Rural Workforce Housing Fund
ENVIRONMENTAL ASSURANCE AND COMPLIANCE COMMITMENT**

NAME OF BUSINESS/DEVELOPER: City of Falls City

Hereinafter called the BORROWER), AND ITS PRINCIPALS (list all),

agree to indemnify and hold harmless SENAHC, hereinafter called the LENDER), its agents, and assigns from and against any damages, cost, liability or expense, including attorney and other professional fees directly or indirectly attributable to the release, threatened release, discharge, manufacture, production, storage, disposal or presence of hazardous toxic substances, either on or under BORROWER'S property or property in which the BORROWER has an interest, including adjoining real property, brought on by the BORROWER'S conduct of business.

The indemnification will specifically survive, and is entirely independent of: 1) the BORROWER'S contractual obligation to repay the primary obligation held by LENDER as amended, extended or renewed by BORROWER; 2) the repayment in full of the BORROWER'S indebtedness to LENDER; and 3) the release of LENDER'S liens on BORROWER'S real or personal property by payment, foreclosure or other action, including LENDER'S discretionary abandonment of lien.

Furthermore, the BORROWER, and its principals, as individuals, hereby assures the LENDER it will abide by all federal and state statutes and/or regulations regarding environmental protection issues. Additionally, the BORROWER and its principals agree to address environmental issues by area of compliance, and to operate under the latest applicable standards.

Executive Order 11988 - Floodplain Management requires Federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable. The Federal Emergency Management Agency (FEMA) designates floodplains as geographic zones subject to varying levels of flood risk. Each zone reflects the severity or type of potential flooding in the area. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs) or Flood Hazard Boundary Map.

☒ Site is not located within a SFHA (100 year floodplain).

☐ Site is located within a SFHA (100 year floodplain).

City of Falls City, Nebraska

Business/Developer

Date

Mark Harkendorff, Mayor

Authorized Official-Type or Print Name

Signature

CONTINGENT LIABILITIES	\$	GENERAL INFORMATION (CONTINUED)
As endorser, co-maker or guarantor:		Are you a defendant in any suits or legal action? <input type="checkbox"/> No <input type="checkbox"/> Yes If so, explain:
On leases:		
Legal claims & judgments:		Have you ever taken bankruptcy? <input type="checkbox"/> No <input type="checkbox"/> Yes If so, explain:
Provision for federal income taxes:		
Other special debt (detail below):		
TOTAL		Income taxes settled through (year)

Schedule A: Bank Accounts; Notes or Loans Payable to Banks and Others. List here the names of all the institutions at which you maintain a deposit account, where you have obtained loans, lines of credits, or credit cards, or have an outstanding account.						
Complete for All Accounts		Complete for Savings & Checking Accounts	Complete for Outstanding Accounts (i.e., Medical Bills), Credit Cards, or Other Loans (i.e., Student Loan)			
Name of Institution or Lender	Account Type (checking, savings, credit card, etc.)	Balance on Deposit	Credit Limit	Current Balance	Monthly Payment	Secured by What Assets (i.e., boat, motorcycle, etc.)
TOTAL			TOTAL			

Schedule B: IRA & Retirement Accounts, Stocks, Bonds, Securities, etc. Use attachments if necessary. Each attachment should be identified as part of this statement and signed.				
Type of Investment	Name and Description of Account, Stock, Bond, Security, etc.	Held In Name of	Market Value	Pledged*
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
*If yes, explain below:			TOTAL	

Schedule C. Real Estate Owned.	List each parcel separately. Use attachments if necessary; each attachment must be identified as part of this statement and signed.		
	Property A	Property B	Property C
Type of Real Estate (i.e., Primary Residence, Other Residence, Rental Property, Land, etc.)			
Address			
Date Purchased			
Original Cost			
Current Market Value			
Mortgage Holder			
Mortgage Balance			
Monthly Payment Amount			
Mortgage Status (current, delinquent, etc.)			

Schedule D: Accounts and Notes Receivable. Describe any accounts receivable including mortgages and land contracts. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

--

Schedule E: Life Insurance. Provide name of insurance company, face value, cash surrender value, and beneficiaries. Include information on any loans against policies.

Name of Company	Face Value	Cash-Value	Loans	Beneficiaries
TOTALS				

Schedule F: Automobiles. Describe all automobiles, RV's, boats, motorcycles, etc. owned including year, make, model, and current value. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

Year	Make	Model	Value	Loans Payable		
				Lender Name	Monthly Payment	Balance Owed
TOTALS				TOTALS		

Schedule G: Unpaid Taxes. Describe in detail, as to type, to whom payable, when due, amount due, and to what property, if any, a tax lien attaches.

--

Schedule H: Other Assets. Describe all other assets including household items, personal goods, etc., not described elsewhere in this statement. If any is pledged as security, include name of lienholder, amount of lien, payment terms, etc.

--

Schedule I: Other Liabilities. Describe any other liabilities; include name of lienholder, amount of lien, payment terms, and loan status.

--

I/we have carefully read and submitted the foregoing information provided on all three pages of this statement to the Lender named above. The information is presented as a true and accurate statement of my/our financial condition on the date indicated. This statement is provided for the purpose of obtaining and maintaining credit with said Lender. I/we agree that if any material change(s) occur(s) in my/our financial condition that I/we will immediately notify said Lender of said change(s) and unless said Lender is so notified it may continue to rely upon this financial statement and the representations made herein as a true and accurate statement of my/our financial condition.

I/we authorize the Lender to verify the accuracy of the statements made herein and to determine my/our creditworthiness, including contacting any of the lenders, account holders, etc. described herein. I/we authorize and instruct any lender, person or consumer reporting agency to furnish to the Lender any information that it may have or obtain in response to such credit inquiries.

I/we also hereby certify that no payment requirements listed herein are delinquent or in default except as follows; if "NONE" so state.

--

I/we fully understand that it is a federal crime punishable by fine or imprisonment or both to knowingly make any false statements on this form, pursuant to 18 U.S.C. §§ 1001, 3571, and 1014.

Signature _____	Date _____
Printed Name _____	Social Security No. _____
Signature _____	Date _____
Printed Name _____	Social Security No. _____

Exhibit A



7407 O Street
 Lincoln, NE 68510
 Phone: (402)-475-2560

Date of Bid	Activity	Description
	Lot Acquisition	Included: N/A - Per owner
	All dirt work / Grading /: Material & Labor	Material & labor: Per house plan
	Landscaping: Final grade & seeding	Material & labor:
	Foundation: Material & Labor	Material & labor: Per house plan
	Foundation Waterproof: Material & Labor	Material & labor: Per house plan
	Concrete Flatwork: Material & Labor	Material & labor: Per house plan
	Framing: Labor	Labor: Per house plan
	Lumber Package:	Material: Per house plan
	Roof: Material & Labor:	Material & labor: Per house plan
	Windows / Exterior Doors Package:	Material: Per house plan
	Plumbing: Materials & Labor	Material & labor: Per house plan & local code requirements
	HVAC: Material & Labor	Material & labor: Per house plan & local code requirements
	Electrical: Material & Labor	Material & labor: Per house plan & local code requirements
	Insulation: Material & Labor	Material & labor
	Drywall: Material & Labor	Drywall (install, mud, tape, texture, finish) main floor, material & labor
	Painting: Material & Labor	Material & labor: Per house plan
	Cabinets & Countertops: Material & labor	Material & labor: Per house plan
	Interior Door & Trim:	Material: Per house plan
	Trim & Door Install: Labor	Labor: Per house plan
	Flooring: Material & Labor	Material & labor: Per house plan
	Siding: Labor	Labor: Per house plan
	Siding: Material	Material: Per house plan
	Gutters: Material & Labor	Material & labor: Per house plan
	Deck & Railing: Material	Material: Per house plan & local code requirements
	Garage Overhead Door: Material & Labor	Material & labor: Per house plan
	General Carpentry: Deck & Misc: Labor	Labor: Per house plan
	Waste Removal:	Site Cleanup
	Permits / Fees:	Per City Requirements
	Drawings:	New Ventures
	Miscellaneous:	As needed

1. FOUNDATION & CONCRETE

1. FOUNDATION & CONCRETE

- U.S. CARPENTRY**

1. Unless otherwise noted, minimum framing lumber shall be Item #12 Dry or better.
2. Unless otherwise noted, provide:
 1. Double headers joints and 11 members at all floor openings.
 2. Double 2" x 12" headers with 1/2" plywood between all exterior door and window openings.
 3. Joist exceeding a maximum 2 x 8 dimensional lumber shall be supported laterally by solid blocking.
 4. Floor connecting APA rated studs-floor 2" o.c. 2x12" 1 & 2 exposure 1 field
floor with 1/8" x 1" adhesives and nailed.
 5. Joist sheathing to be APA rated 2x12 exposure 1, 5/8" thick.
 6. In all bath and toilet areas use water resistant gypsum board for walls and ceilings,
and plywood underlayment flooring with exterior glue.
 7. All exterior walls and ceilings are to be covered with 1/2" gypsum board, type I, Hard,
and 5/8" (1) damage free wall and ceiling to be covered with 5/8" Hardwood
gypsum board, 1/2" on all others.
 8. Protection against decay and termites: Wood posts, piles, and columns shall have open a
concrete footing and not be embedded in concrete and shall be pressure treated wood,
cable or released.
 9. The underside of a cantilever projecting above a garage door shall have the same fire
underlayment as a concrete ceiling, normally 5/8" thick joists & gypsum sheathing.

2. Stir rice and rice flour may be combined with a $7\frac{3}{4}$ " maximum rise and a 10 " maximum run. Allow $6\frac{1}{2}$ " minimum headroom.

18. Measuring 1 1/4" minimum to 2 3/8" maximum, and less than 34" over more than 38" above the nursing of the slats.
Geometric shall not be less than 36" in height. Intermediate rails not more than 5 1/2" including deck.
20. 1 1/2" x 3 1/2" pieces may be used as horizontal or exterior slats.
For fire checking of the front only, only one face of up to 34 inches is allowed. All other exterior faces can have a maximum of 5 slats to the door before a landing is required.
The maximum slope of the face of doors, landing to a door, and maximum slope of a ramp is 1:8.

Online electronic journal provider:

1. Inclusion criterion: Exterior wall - 17% Gelfing/NaOH - 14% O₂ flux - 430.002 Windows - 10.79.
2. 0.5 minimum rigid insulation at masonry foundation wall and slab on grade perimeter is 24".
3. 100' section between foundation and all slabs.
4. Looking at all with sliding glass doors, entrance doors, and bottom plates.
5. Vapor barrier - maximum rating of 10 perms in unventilated ceiling.
6. 0.02" insulation minimum - finish material required every 200 sq. ft. focus like attic areas.

A. Monocotyledonae - example of being self-fertile

- A. Interconnect - capable of being extended.
- B. All network must be installed Supply = 6.0 or better. Network is interconnected after end outside of the building is 4.0 or better. Perform a communications flow pattern, gateway or other opens a 3.2 or better.
- C. All network must have all patch related, grounded or taped to prevent or reduce. Dual tops is NOT allowed.
- D. TIA/EIA Patch and Plumbing lines above an attached unrelated garage shall be installed with a minimum of 2-1/2" separation.

A **total direct water duct** shall be located in a clear space not less than 30" in width, not less than 24" in front of the water duct (15" from V.C. center) and allowing a 4" minimum clearance on both sides of tank to any tub, counter or vanity.

- B. Fire rated doors to 1 hour occupancy separation on the garage side a 3/8" solid core door.
- C. Heating, A/C and Electrical: As per local requirements.

BUILDER MUST COMPLY WITH THE NEW STATE STATUTE FOR RADON RESISTANT CONSTRUCTION.

3. The teacher chooses a corner and runs the full length of the wall.

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[illegible]

7. All expenditures to be verified by statement of house,

12. All exhaust fans to be verified to exterior of house.

1. In new construction, smoke detectors are required in each sleeping room **AND** on each level of the home.
2. Some hallways may not need a detector if above conditions are met.
3. Detectors shall be interconnected so all will sound an alarm if one operates.

- It will now be seen that the average depth of the water is 10.5.

1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.

- 1990 1991 1992 1993 1994 1995 1996 1997 1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353 2354 2355 2356 2357 2358 2359 2360 2361 2362 2363 2364 2365 2366 2367 2368 2369 2370 2371 2372 2373 2374 2375 2376 2377 2378 2379 2380 2381 2382 2383 2384 2385 2386 2387 2388 2389 2390 2391 2392 2393 2394 2395 2396 2397 2398 2399 2400 2401 2402 2403 2404 2405 2406 2407 2408 2409 2410 2411 2412 2413 2414 2415 2416 2417 2418 2419 2420 2421 2422 2423 2424 2425 2426 2427 2428 2429 2430 2431 2432 2433 2434 2435 2436 2437 2438 2439 2440 2441 2442 2443 2444 2445 2446 2447 2448 2449 2450 2451 2452 2453 2454 2455 2456 2457 2458 2459 2460 2461 2462 2463 2464 2465 2466 2467 2468 2469 2470 2471 2472 2473 2474 2475 2476 2477 2478 2479 2480 2481 2482 2483 2484 2485 2486 2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 2594 2595 2596 2597 2598 2599 2600 2601 2602 2603 2604 2605 2606 2607 2608 2609 2610 2611 2612 2613 2614 2615 2616 2617 2618 2619 2620 2621 2622 2623 2624 2625 2626 2627 2628 2629 2630 2631 2632 2633 2634 2635 2636 2637 2638 2639 2640 2641 2642 2643 2644 2645 2646 2647 2648 2649 2650 2651 2652 2653 2654 2655 2656 2657 2658 2659 2660 2661 2662 2663 2664 2665 2666 2667 2668 2669 2670 2671 2672 2673 2674 2675 2676 2677 2678 2679 2680 2681 2682 2683 2684 2685 2686 2687 2688 2689 2690 2691 2692 2693 2694 2695 2696 2697 2698 2699 2700 2701 2702 2703 2704 2705 2706 2707 2708 2709 2710 2711 2712 2713 2714 2715 2716 2717 2718 2719 2720 2721 2722 2723 2724 2725 2726 2727 2728 2729 2730 2731 2732 2733 2734 2735 2736 2737 2738 2739 2740 2741 2742 2743 2744 2745 2746 2747 2748 2749 2750 2751 2752 2753 2754 2755 2756 2757 2758 2759 2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771 2772 2773 2774 2775 2776 2777 2778 2779 2780 2781 2782 2783 2784 2785 2786 2787 2788 2789 2790 2791 2792 2793 2794 2795 2796 2797 2798 2799 2800 2801 2802 2803 2804 2805 2806 2807 2808

- A.** Accessory structures closer than 6 feet to a dwelling are to be protected on the inside by 5/8" type X gypsum sheathing. A deck is considered part of the dwelling. Accessory buildings must be 6 feet from the deck as protected by gypsum or chain-link fence.

2. The maximum and mean minimum water heights of 6 and 3 inches indicated in a fish or lobster.

- பெரிய அளவுக்குள்ளேயே இருக்கிறார்கள். இதைப் பற்றி நான் சொல்ல விரும்புகிறேன்.

- [illegible]

- [illegible]

2. Carbon monoxide detectors are required on each level including basement.

தலைப்பு - கிண்கிணை 30 மீ - 895

Electric - Minimum 30 gal - .89¢
60 gal - .88¢
50 gal - .86¢

Size -	Minimum 30 gal -	56 BF
40 gal -	54 BF	
50 gal -	58 BF	

lients have required an hot & cold

flower heads - use 25 gallons/mine

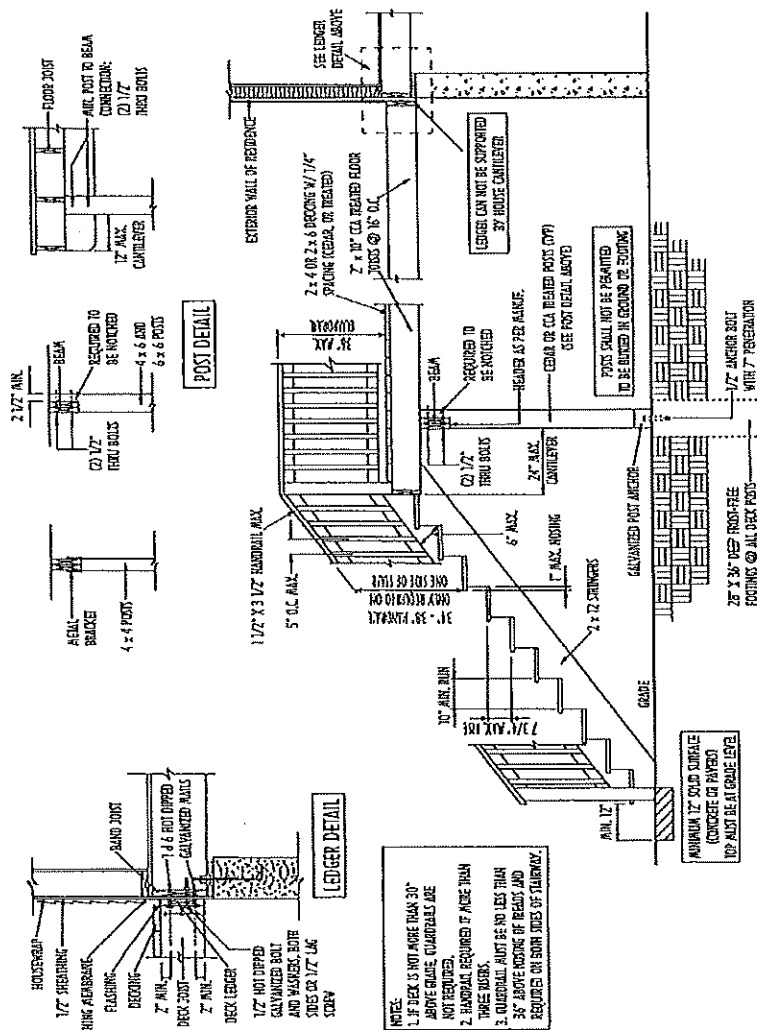
NEW RESIDENCE PLANS FOR:
FALLS CITY (EDGE)
RANCH PLAN

The Trade Center
6031 South 55th Street, Suite C
Lincoln NE 68516

Phone: (402) 420-0088

Exy: (402) 420-0089

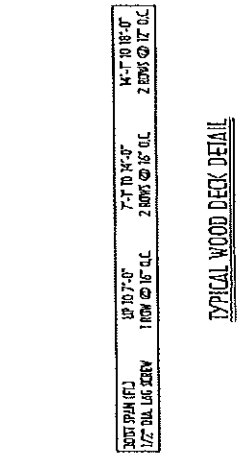
FAX: (402) 430-0033



Designs are not an endorsement or approval of any product or material. The user must be responsible for the selection and use of a construction material. The user must also consider the safety of their plan. For more information, please contact your local building department or the manufacturer of the material and equipment.

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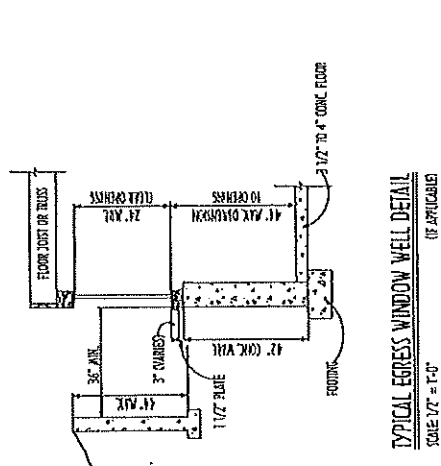
NY0614
FALLS CITY (EDGES)
RANCH PLAN
SHT 2 OF 1



TYPICAL WOOD DECK DETAIL
SCALE 1/2" = 1'-0"

1. THE TOP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE LAG BOLT.
2. LEDGERS SHALL BE FLASHED TO PREVENT WATER FROM PENETRATING THE JOIST AND JOIST.
3. LAG SCREWS AND BOLTS NEED TO BE COUNTERSUNK ALONG THE LENGTH OF THE LEDGER.
4. THE WIDTH OF THE LEDGER SHALL NOT BE LESS THAN THE WIDTH OF THE JOIST.
5. LAG SCREWS AND BOLTS SHALL BE PLACED AT LEAST 2" FROM THE BOTTOM AND TOP OF THE LEDGER AND AT LEAST 2" FROM THE JOIST.
6. IF ENGINEERED LAG BOLT IS USED THEN ENGINEERING WILL BE REQUIRED.

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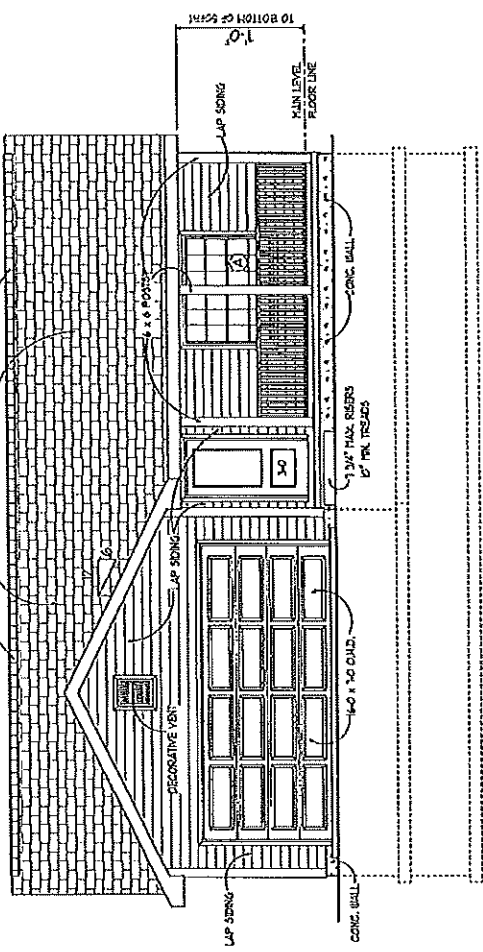
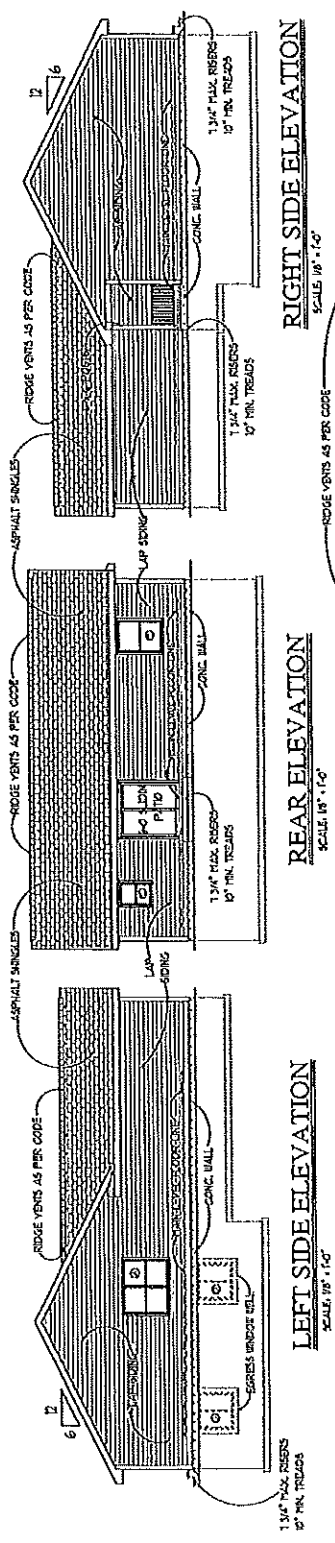
TYPICAL EGRESS WINDOW WELL DETAIL
SCALE 1/2" = 1'-0"
(IF APPLICABLE)

Every sleeping room below the fourth story shall have at least one operable window or exterior door approved for emergency escape or rescue. The unit shall be operable from the inside to provide a full clear opening without the use of separate tool.

1. All escape or rescue windows from sleeping rooms shall have a minimum net clear opening of 5.7 sq. ft. The minimum net clear opening height shall be 20". The minimum net clear opening width dimension shall be 20". An opening with the minimum height of 20" and the minimum width of 20" will not meet the 5.7 sq. ft. of operable window. To allow the height or the width must exceed the minimum. The total exterior clear opening in sleeping rooms must not be less than 8 percent of the floor area with a minimum of 8 sq. ft. for exterior light. Where windows are provided as a means of escape or rescue, they shall have a finished opening height not more than 44" above the floor.
2. Escape and rescue windows with a sill height below the adjacent ground elevation shall have a window well. Window wells of escape or rescue windows shall comply with the following:
 1. The clear horizontal dimension shall allow the window to be fully opened and provide a minimum accessible net clear opening of 9 sq. ft. (0.837m²), with a minimum dimension of 36" (914mm).
 2. Window wells with a vertical depth of more than 44" (1093mm) shall be equipped with an approved permanently attached ladder or stairs that are accessible with the window in the fully open position. The ladder or stairs shall not encroach into the required dimensions of the window well by more than 6" (152mm).
 3. A deck over an escape window must provide a minimum clearance of 36 inches to the ground.

Bar, grille, gate, or similar device may be installed on emergency escape or rescue window, doors or window well, provided:

1. The device are equipped with approved release mechanisms which are operable from the inside without the use of a key or special knowledge to effect and
2. The building is equipped with smoke detection initiated in accordance with Section 310.2.



NOTES:

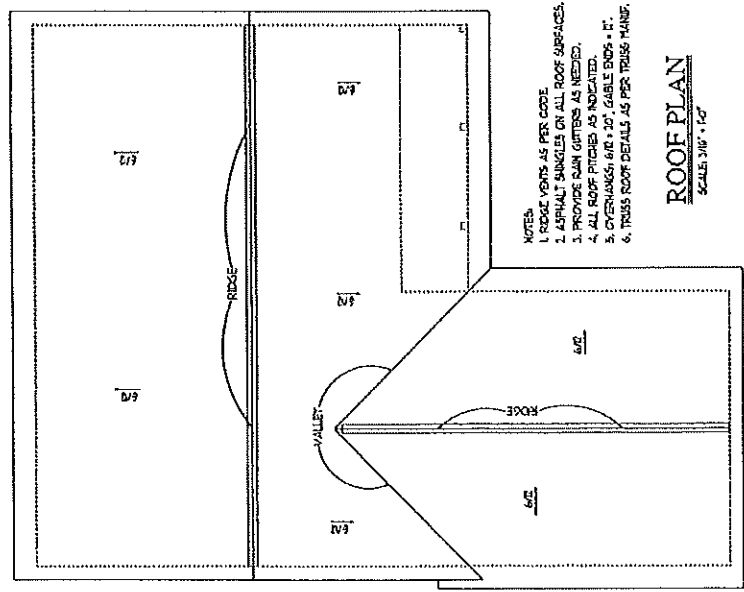
1. RIDGE VENTS AS PER CODE.
2. ASPHALT SHINGLES ON ALL ROOF SURFACES.
3. PROVIDE RAIN GUTTERS AS NOTED.
4. ALL ROOF PITCHES AS NOTED.
5. OVERHANGS 6" x 12" GABLE ENDS x 12".
6. TRUSS ROOF DETAILS AS PER TRUSS MANUF.

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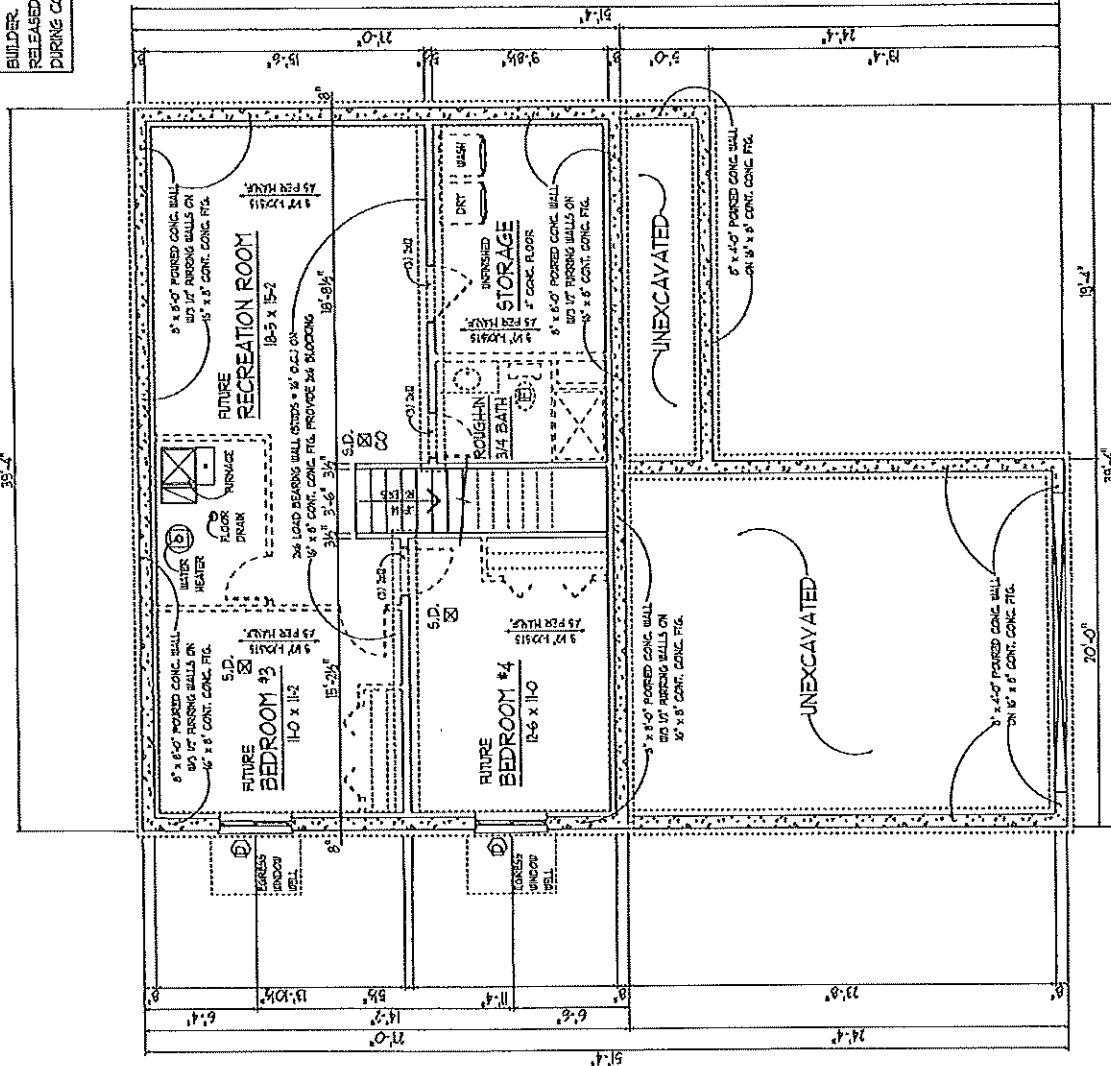
NY0604
FALLS CITY EDGE
RANCH PLAN
SHT 3 OF 7

WINDOW SCHEDULE #						
KEY NO.	SIZE	MANUF.	R.O.	GLASS SZ.	STYLE	HDR. EGRESS
1	3050-2	ANDERSEN	6'-0" x 5'-0"	2'-5 1/4" x 2'-1 9/16"	SINGLE HING	LVL YES
2	3450	II	3'-6" x 5'-0"	2'-0 1/4" x 2'-1 9/16"	II	(3/2)22 YES
3	2636	II	2'-6" x 5'-6"	1'-8 1/4" x 1'-4 9/16"	II	NO
4	4040	II	4'-0" x 4'-0"	1'-1 9/16" x 2'-5 1/4"	SLIDER	II

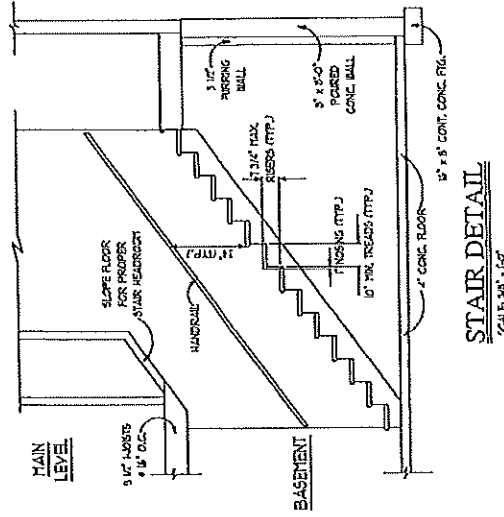
TO BE APPROVED BY CONTRACTOR PRIOR TO ORDERING



CONSTRUCTION FROM THIS PLAN IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER. NEW VENTURES, INC. IS HEREBY RELEASED OF ANY LIABILITY THAT MAY ARISE DURING CONSTRUCTION OR ANYTIME THEREAFTER.



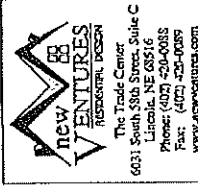
NOTE:
ALLOW 6'-8" MIN.
STAIR HEADROOM



FOUNDATION PLAN

FUTURE
 FINISHED 89MT.
 17 SQ.FT.

NOTE:
9'-0" FOUNDATION
WALL HEIGHT UNLESS
OTHERWISE SPECIFIED.

[illegible]

NY0624
 FALLS CITY (EDGE)
 RANCH PLAN
 SHEET 4 OF 7

CONSTRUCTION FROM THIS PLAN IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER. NEW VENTURES, INC. IS HEREBY RELEASED OF ANY LIABILITY THAT MAY ARISE DURING CONSTRUCTION OR ANYTIME THEREAFTER.

NOTE:
8'-0" CEILING HEIGHT
ON MAIN LEVEL UNLESS
OTHERWISE SPECIFIED.

MAIN LEVEL FLOOR PLAN

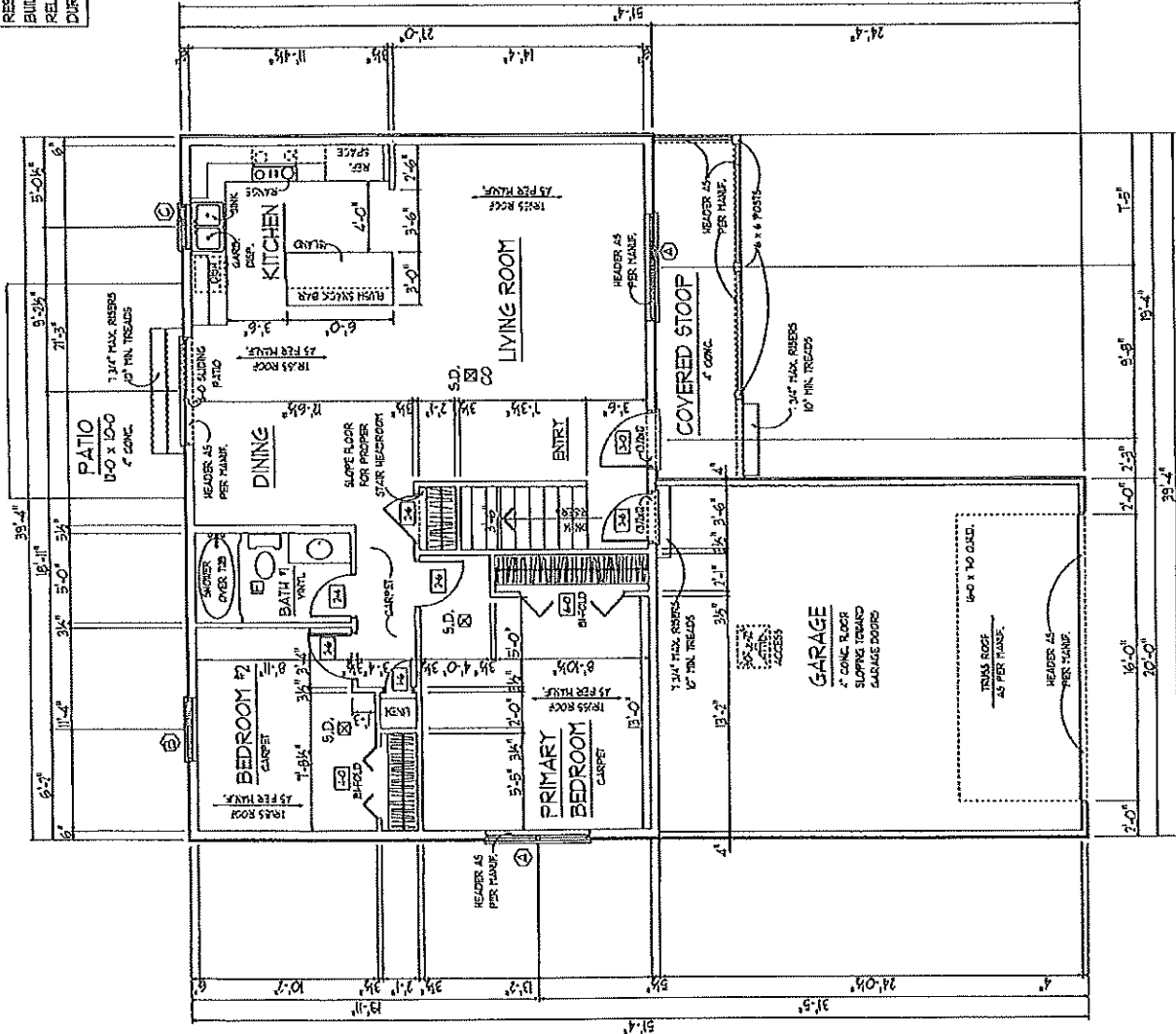
SCALE 1/4" = 1'-0"

MAIN LEVEL 1063 SQ.FT.
GARAGE 448 SQ.FT.

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NY0624
FALLS CITY (EXED)
RANCH PLAN
SHT 5 OF 1



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	NO. 10 NUT	1	NO. 10 NUT
2	WASHER	2	WASHER
3	WASHER	3	WASHER
4	WASHER	4	WASHER
5	WASHER	5	WASHER
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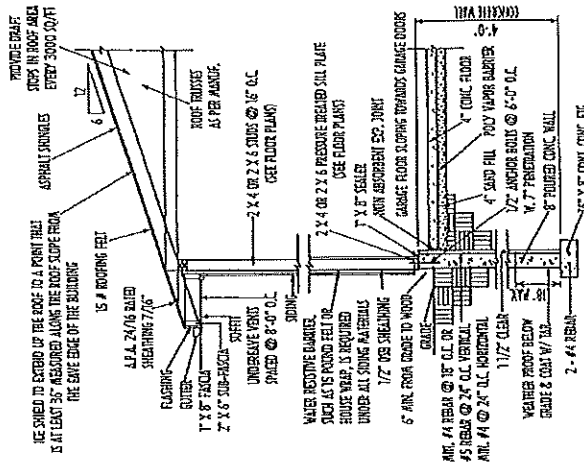
1105 2nd Ave
SOUTH AFRICAN ASSOCIATION WITH
7102 3RD

USE	LOVE LOAD
EXERCISE MACHINES	65
BOOKS	40
PAPE EJECTS	40
PASTELOR PENCILS & MARKERS	50
ARTIST WOODS DOWNS	10
ARTIST WITH STORAGE	30
POUNDS UNDER MARK SLEEPING POSERS	40
SLEEPING POSERS	40
STAIRS	40
CLIMBERS & ARTIST BALLOONS	200

DATE 06/19/78

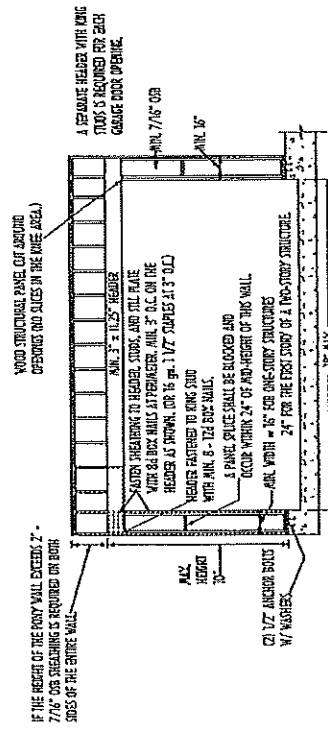
STRUCTURAL NUMBER	ALPHABETIC DESIGNATION
WIDE WINGING STURGE RECOVERED MAR 2/75	L/800
WIDE WINGING STURGE RECOVERED MAR 2/75	L/240
HOUSING VALVE AND PADDLES	L/240
HOUSING VALVE AND PADDLES	L/240
ALL OTHER STRUCTURAL PARTS L/240	L/240
EXTENDING VALVE WITH PLESTER ON SUCTION BRUSH	L/240
EXTENDING VALVE - WIND LOOSE WITH PLESTER FINGERES	L/240
EXTENDING VALVE - WIND LOOSE WITH 2 PLESTER FINGERES	L/240
FINGERES - 1/2" OF LEAK	L/240
FINGERES 1/2" OF LEAK	L/240
FINGERES 1/2" OF LEAK	L/240

THIS FIRM AND ALL OF ITS AFFILIATES INFORMATION WHETHER BY ORAL OR WRITTEN
BY NY, INC. DOES NOT OF THIS FIRM IN WHICH THE FIRM HAS NO
ANY OTHER INFORMATION OF NY, INC. IS PROVIDED.



TYPICAL GARAGE WALL SECTION

סעיף 10.1



THE FOLLOWING INFORMATION IS REQUESTED FROM EACH STUDENT OF THE UNIVERSITY OF MICHIGAN:

1. NAME _____

2. ADDRESS _____

3. PHONE NUMBER _____

4. DATE OF BIRTH _____

5. SEX _____

6. GRADE _____

7. MAJOR _____

8. MINOR _____

9. HONORS _____

10. ACADEMIC ACHIEVEMENT _____

11. RESEARCH INTERESTS _____

12. RESEARCH PROJECTS _____

13. RESEARCH EXPERIENCE _____

14. RESEARCH PUBLICATIONS _____

15. RESEARCH ASSISTANT _____

16. RESEARCH FUNDING _____

17. RESEARCH RESULTS _____

18. RESEARCH CONCLUSIONS _____

19. RESEARCH RECOMMENDATIONS _____

20. RESEARCH EVALUATION _____

21. RESEARCH IMPACT _____

22. RESEARCH SIGNIFICANCE _____

23. RESEARCH ORIGINALITY _____

24. RESEARCH INNOVATION _____

25. RESEARCH CREATIVITY _____

26. RESEARCH INSIGHT _____

27. RESEARCH ANALYSIS _____

28. RESEARCH SYNTHESIS _____

29. RESEARCH CRITICAL THINKING _____

30. RESEARCH PROBLEM SOLVING _____

31. RESEARCH DECISION MAKING _____

32. RESEARCH COMMUNICATION _____

33. RESEARCH COLLABORATION _____

34. RESEARCH LEADERSHIP _____

35. RESEARCH TEAMWORK _____

36. RESEARCH MOTIVATION _____

37. RESEARCH PERSEVERANCE _____

38. RESEARCH RESILIENCE _____

39. RESEARCH ADAPTABILITY _____

40. RESEARCH FLEXIBILITY _____

41. RESEARCH OPEN-MINDEDNESS _____

42. RESEARCH CURIOSITY _____

43. RESEARCH ENTHUSIASM _____

44. RESEARCH PASSION _____

45. RESEARCH COMMITMENT _____

46. RESEARCH DEDICATION _____

47. RESEARCH DILIGENCE _____

48. RESEARCH THOROUGHNESS _____

49. RESEARCH ATTENTION TO DETAIL _____

50. RESEARCH ORGANIZATION _____

51. RESEARCH TIME MANAGEMENT _____

52. RESEARCH PRODUCTIVITY _____

53. RESEARCH EFFICIENCY _____

54. RESEARCH EFFECTIVENESS _____

55. RESEARCH QUALITY _____

56. RESEARCH QUANTITY _____

57. RESEARCH VARIETY _____

58. RESEARCH BREADTH _____

59. RESEARCH DEPTH _____

60. RESEARCH SCOPE _____

61. RESEARCH IMPACT _____

62. RESEARCH SIGNIFICANCE _____

63. RESEARCH ORIGINALITY _____

64. RESEARCH INNOVATION _____

65. RESEARCH CREATIVITY _____

66. RESEARCH INSIGHT _____

67. RESEARCH ANALYSIS _____

68. RESEARCH SYNTHESIS _____

69. RESEARCH CRITICAL THINKING _____

70. RESEARCH PROBLEM SOLVING _____

71. RESEARCH DECISION MAKING _____

72. RESEARCH COMMUNICATION _____

73. RESEARCH COLLABORATION _____

74. RESEARCH LEADERSHIP _____

75. RESEARCH TEAMWORK _____

76. RESEARCH MOTIVATION _____

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78. RESEARCH RESILIENCE _____

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81. RESEARCH OPEN-MINDEDNESS _____

82. RESEARCH CURIOSITY _____

83. RESEARCH ENTHUSIASM _____

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85. RESEARCH COMMITMENT _____

86. RESEARCH DEDICATION _____

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88. RESEARCH THOROUGHNESS _____

89. RESEARCH ATTENTION TO DETAIL _____

90. RESEARCH ORGANIZATION _____

91. RESEARCH TIME MANAGEMENT _____

92. RESEARCH PRODUCTIVITY _____

93. RESEARCH EFFICIENCY _____

94. RESEARCH EFFECTIVENESS _____

95. RESEARCH QUALITY _____

96. RESEARCH QUANTITY _____

97. RESEARCH VARIETY _____

98. RESEARCH BREADTH _____

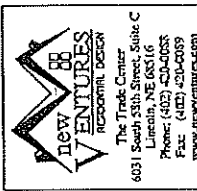
99. RESEARCH DEPTH _____

100. RESEARCH SCOPE _____

CITY OF LINCOLN/LANCASTER COUNTY
ALTERNATE BRACE WALL PANEL
AT BRACE DOOR OPENINGS

DATE 1/18-19, 19

Don't get in line as architect or engineer and construction from these plans should not be undertaken without the assistance of a competent professional. Because the conditions may vary, however, they do not warrant the suitability of these plans for use on your specific site. Consult your construction professional to determine the suitability of these plans for your specific



KV06D4
FALLS CITY (EDED)
RANCH PLAN
SHT 6 OF 7

TYPICAL WALL INTERSECTION DETAIL

TYPICAL EXT. CORNER SECTION DETAIL

TYPICAL BRICK SECTION
SCALE 1/2" = 1'-0"

TYPICAL WINDOW OPENING DETAIL

TYPICAL DOOR OPENING DETAIL

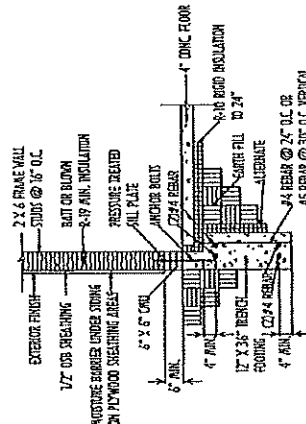
HEADER SCHEDULE	
ALL EXTERIOR HEADERS SHALL BE:	
2 x 4 WALLS	(2) 2 x 12 HEN BR #2
2 x 6 WALLS	(3) 2 x 12 HEN BR #2
ALL INTERIOR HEADERS SHALL BE:	
LESS THAN 4'-0"	(2) 2 x 6
4'-0" TO 6'-0"	(2) 2 x 8
6'-0" TO 8'-0"	(2) 2 x 12
OVER 8'-0"	NOTED ON PLAN

[illegible]

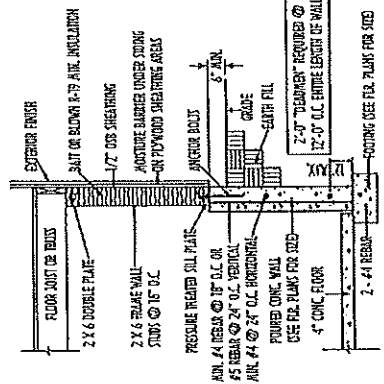
THE PLANS AND THE DISCUSSIONS WITHIN THE GROUP ARE CONSIDERED
CONFIDENTIAL AND NOT TO BE DISCLOSED TO ANY OTHER PERSONS.

[illegible]

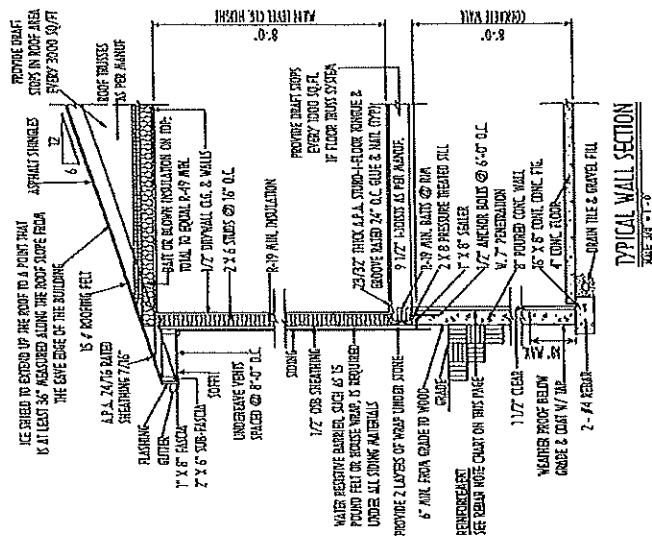
UNLESS NOTED OTHERWISE ON PLANS



WALK-OUT WALL SECTION



DAYLIGHT WALL SECTION
SCALE 1/2" = 1'-0"



TYPICAL WALL SECTION

Developer is not an architect or engineer and construction firm, these plans should not be implemented without the assistance of a construction professional. Because site conditions may vary, designer does not warrant the suitability of these plans for use on your specific site. Consult professional construction professional to determine the suitability of these plans for your specific site and implementation.



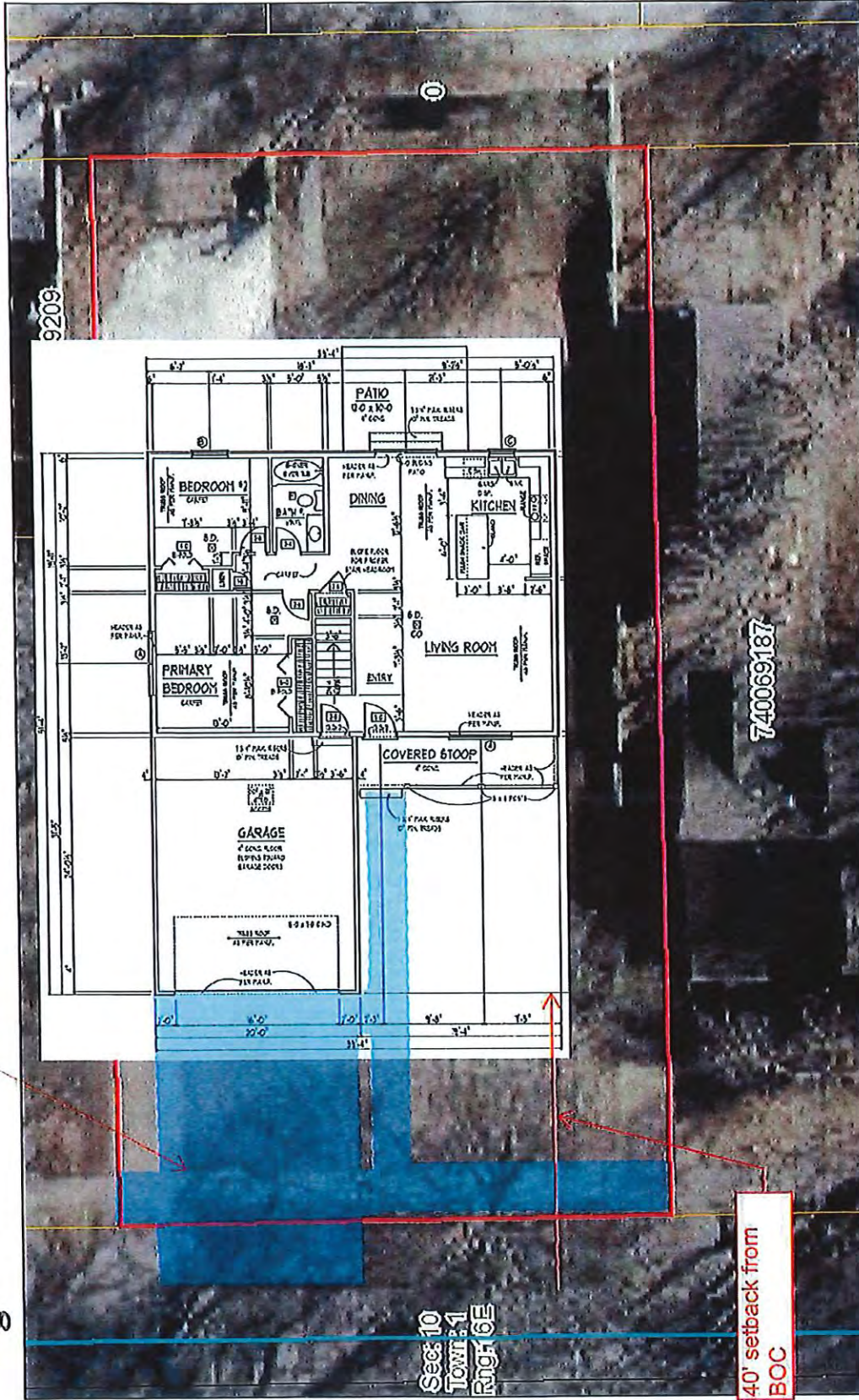
The Trade Center
6031 South 58th Street, Suite C
Lincoln, NE 68516
Phone: (402) 420-0033
Fax: (402) 420-0039
www.newventures.com

NY0624
FALLS CITY (EDED)
RANCH PLAN
SHT 1 OF 1



new driveway and sidewalk

1612 Fulton Lot Size = 75' x 120'



DISCLAIMER: This map is not intended for conveyances, nor is it a legal survey. The information is presented on a best-efforts basis, and should not be relied upon for making financial, survey, legal or other commitments.

May 9, 2024

— Road Centerlines

□ Parcels

— Sections

Richardson County
gWorks

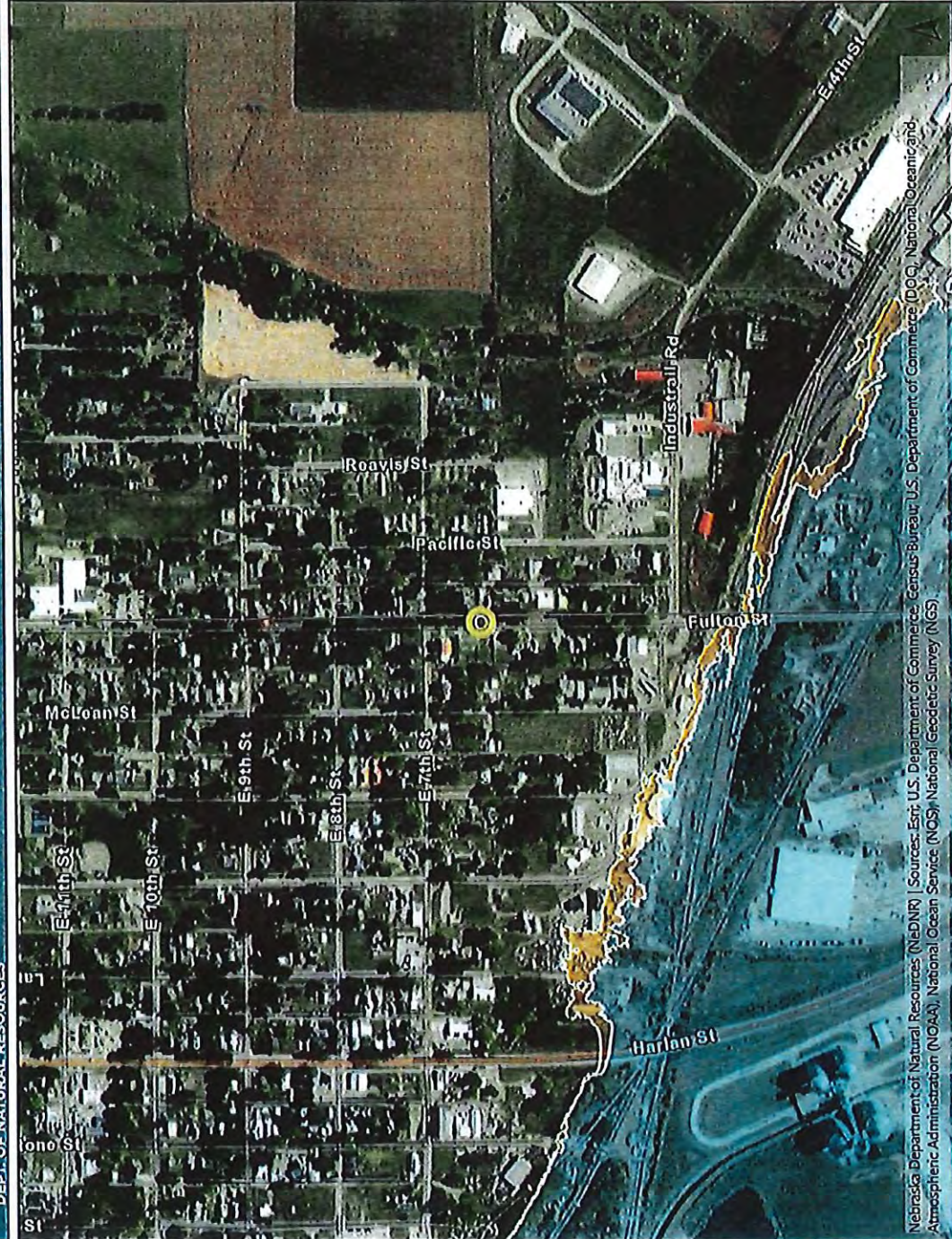
5/9/24, 11:36 AM

1612 Fulton St - Google Maps

Google Maps 1612 Fulton St



NEBRASKA DEPT. OF NATURAL RESOURCES Floodplain Management Interactive Map



Nebraska Department of Natural Resources (NDNR) | Sources: Esri, U.S. Department of Commerce, Census Bureau, U.S. Department of Commerce (DOC), National Oceanic and Atmospheric Administration (NOAA), National Ocean Service (NOS), National Geodetic Survey (NGS)

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

0 1000 2000 ft

Date Printed: 8/19/2024

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Falls City

Legend

BFE Determinations

Valid BFE

Effective Paper Maps

Effective Flood Zone

Effective Paper Maps

1% Annual Chance

Regulatory Floodway

0.2% Annual Chance

Reduced Risk Due to Levee

Flood Hazard Zones

FIRM panels

Cross-Sections

Limit-Lines

Other Map Layers

Sections

Communities

NRDs

Notes

Attachment: Extended bios for key staff

Amanda Stutzman, SENDD Bookkeeper/Office Administrator: Amanda has worked with SENDD since November 2022, and has over ten years of experience working with business financials, administration, and HR management at both small businesses and larger corporations. Her resume is impressive, as it also highlights over three years of experience in leadership development and building training programs for successful employee onboarding and talent development. Prior to working at SENDD, Amanda led various department teams (up to 35 people) for six years. All of these experiences benefit SENDD and SENAHC, as Amanda works closely with the Board to curate SENAHC's financials. She will have a significant role in this proposed project, which she is well prepared for as she continues to complete training in online bookkeeping software and works closely with SENDD's Chief Financial Officer to create efficient internal accounting systems. Amanda has previously assisted with small business startup and development experiences, which sparked her interest in financial management.

Nichole Jones, Housing Specialist: Nichole was hired at SENDD in October 2022, and since has played a significant role in program administration and client information verifications for various housing programs. She works closely with clients and is often their first point of contact when reaching out for information about current and proposed programs. Her duties also include traveling to ongoing job sites to document and verify construction progress, as well as record keeping for all ongoing housing projects. Nichole is heavily involved in the overall operation of 1.8 million in the 2022 SENAHC RWHF. This has provided her valuable experience working large sum grant awards. Prior to her time at SENDD, Nichole earned more than ten years of job experience in administration and management with local law firms, which has helped her to specialize in developing strong client relationships, adaptability in her role, and exemplary organizational skills. All of these qualities will make her a tremendous asset to this proposed RWHF project.

Ashley Larsen, SENDD Housing Development Specialist: Ashley has worked with the organization since January 2019. Her primary duties include grant writing and administration, and she is also a CDBG-Certified Administrator. She has worked closely with the SENAHC Board throughout her time at SENDD, attending quarterly meetings and assisting with the implementation process of the \$1.24 million statewide Landlord Assistance Program (LAP). She holds certifications in Housing Quality Standards (HQS) inspection and Residential Roofing Inspection and has also completed lead-based paint training for inspections and risk assessment. Ashley graduated from the University of Nebraska-Kearney with a Bachelor's in Geography and GI Science in 2016, and earned a Master's degree in Geography from the University of Nebraska-Lincoln in 2018. Through her educational experiences, she focused heavily on data analysis and writing, skills which have benefited her role at SENDD & SENAHC. Larson has several years' experience in managing large grant awards and will be a tremendous asset to the proposed program.

Jim Warrelmann, SENDD Director of Housing Services: Jim has over 30 years of experience in private and public-funded housing programs, which includes workforce housing, new construction, inspections, general contracting (residential & commercial), and housing development program management. He is also a CDBG-Certified Administrator. During his time with SENAHC and SENDD, he has built strong relationships with several housing developers, regional home builders, and subcontractors. He has extensive experience working with the Nebraska Affordable Housing Trust Fund (NAHTF) resources, CDBG, and disaster recovery funding (NAHTF-DR), and will serve as the point of contact for this proposed program. Warrelmann will work closely with other SENDD staff on all reporting requirements. Currently, he oversees over \$3.5 million of housing projects over SENAHC's 17-county region and is heavily involved in managing the highly successful 2018 SEND, Inc. RWHF program, which has revolved over \$1.6 million several times. He also plays a critical role in managing the 2022 \$1.8 million SENAHC RWHF. Both programs have created numerous new housing opportunities throughout the region.

Terry Manson, Project Manager: Terry has 30+ years of construction management and building experience. Manson earned a Building Construction degree from Southeast Community College prior to working for several years with a local framing contractor. He combined his educational background with this hands-on experience and formed his own business, hiring a framing crew that operated in southeast Nebraska for over twenty years. His other construction credentials/experiences include overseeing the complete buildout of several residential homes and working at various lumber yards in both sales and construction supervisory positions. While operating his own business, Manson partnered with another home builder to construct 138 townhomes in Rock Springs, Wyoming.

Attachment: Extended bios for key staff

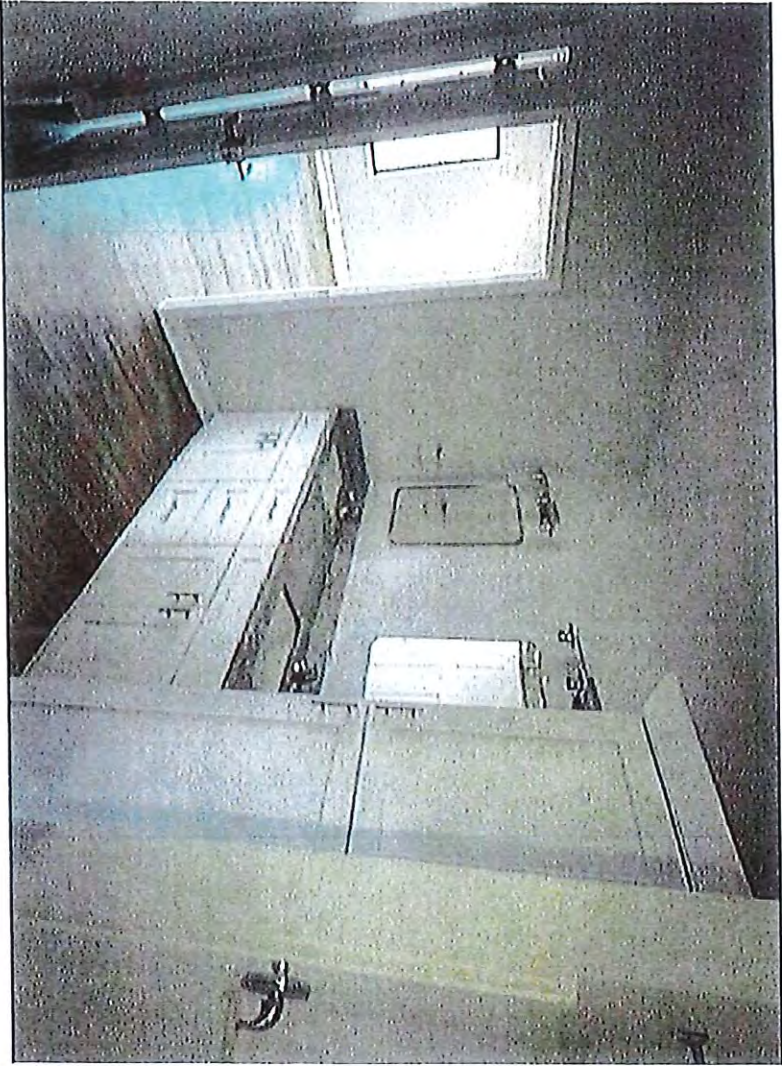
He simultaneously oversaw the successful buildout of five new homes in Gillette, Wyoming. After completing these jobs, Manson moved back to Nebraska and resumed self-employment for several years, focusing mainly on minor construction projects and handyman work. He has a strong construction management background and will be a tremendous asset to this proposed application.

Ryan Bauman, SENDD Housing Coordinator: Ryan grew up in Falls City, Nebraska, and is a recent graduate of Peru State College. Prior to his employment at SENDD, he was the Building Inspector for the City of Falls City. He holds a Class-A Construction License through the International Code Council (ICC) & the National Association of State Contractors Licensing Agencies (NASCLA). Ryan has also earned licenses and certifications in Lead Paint Inspection, Lead Paint Risk Assessment, and HCV Housing Quality Standards (HQS). He successfully completed the ICC B-1 Residential Building Inspector certification training as well as the Home Inspection Training offered by the Inspection Certification Associates (ICA). Bauman is well-rounded and educated in the construction industry. His distinguished performance record in project management is demonstrated through his experiences simultaneously managing up to twenty owner-occupied rehabilitation programs at SENDD. His experience, construction, and project management background, and overall eagerness to further his knowledge and skills will be a tremendous benefit to the proposed application.

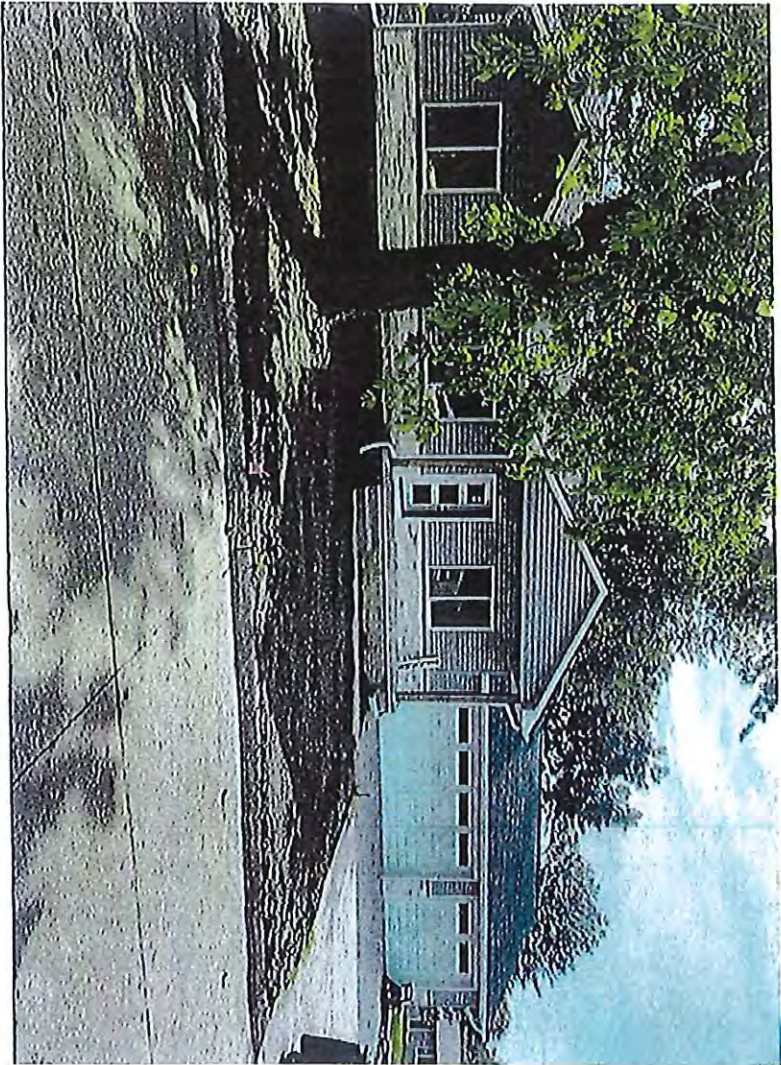
Cole Hartgerink, SENDD Housing Specialist: Cole developed a keen interest in the construction and home remodeling industry while growing up in Milford, NE. He gained valuable hands-on experience working for a family-owned and operated renovation and rental property business, collaborating with local contractors or his family members to complete various projects and repairs. During his college years, Cole worked for a local private contractor and also started his own moving business, further expanding his knowledge and skills. After completing his BBA degree at UNL, he joined SENDD and worked on a range of purchase-rehab-resale (PRR), owner-occupied rehab (OOR), down-payment assistance (DPA), and SENDD Contracting projects, utilizing funding sources such as NAHTF, NAHTF-DR, and CDBG. Cole has gained significant experience in conducting various types of inspections, managing multiple projects, and earning certifications and licenses from USDA-RD 502 & 504 loan packaging, Housing Quality Standards (HQS) inspection, and lead-based paint inspection and risk assessment through the State of Nebraska.

Brent Pendgraft, SENDD Housing Inspector: Brent is an integral part of all ongoing housing programs at SENDD, serving as one of the primary housing inspectors. He brings a unique blend of human relations and construction/inspection experience to the organization. Brent earned a Bachelor's degree in Sociology from Simpson College (2021), where he studied socio-economic factors that impact individuals and communities. After college, he entered the construction inspection industry, earning certifications as an Asbestos Inspector, Asbestos Supervisor, and in NIOSH 582E Microscopy (microscopic laboratory analytics). He is currently working to obtain additional certifications in Housing Quality Standards (HQS) and lead-based paint inspection. Prior to his work at SENDD, Brent was employed as a certified Asbestos Inspector and Housing Inspector. He will provide critical support to this proposed program as one of the primary construction inspectors throughout all projects.

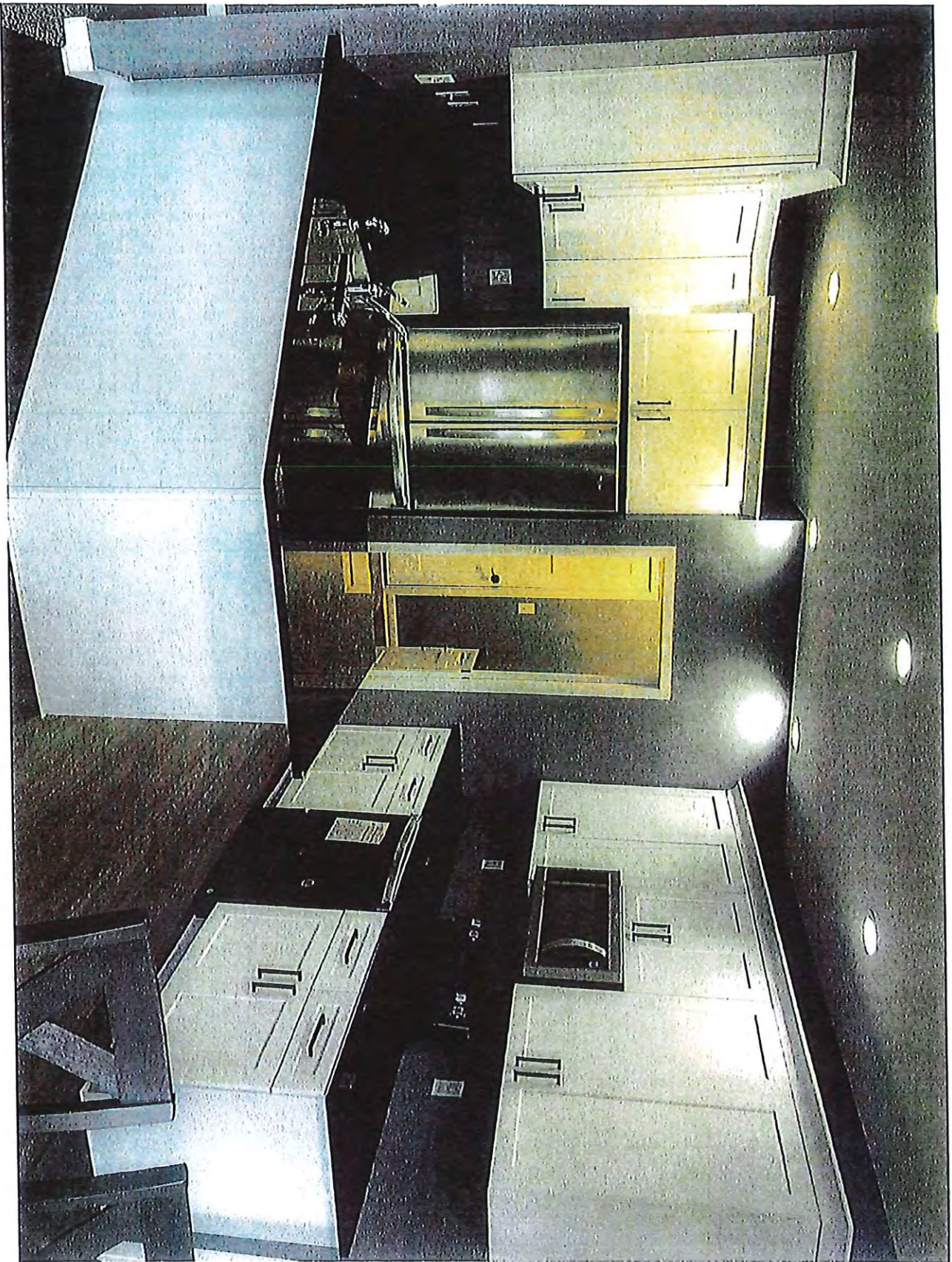


















SERVING SOUTHEAST NEBRASKA

Rural Workforce Housing Fund DEVELOPER LOAN APPLICATION

INSTRUCTIONS

Jackson 2 Bed
1 Bath
unfinished basement

****PLEASE READ THESE INSTRUCTIONS CAREFULLY BEFORE PROCEEDING-
INCOMPLETE APPLICATIONS WILL BE RETURNED TO APPLICANTS****

Completed applications will be reviewed on an as needed basis following submission to the Rural Workforce Housing Fund review committee, who will make a recommendation (along with loan terms and provisions) to the Southeast Nebraska Affordable Housing Council Board, who will make a final approval or denial. A non-refundable application fee of 1.0% of the loan amount may be requested with the completed application. Submit only the completed and signed application forms and all required attachments. Incomplete applications will not be reviewed until all sections are complete and all required information is submitted. The SENAHC Board of Directors and RWHF Committee may waive specific requirements and/or forms.

The following items make up the application packet:

SECTION 1. Complete all sections regarding the applicants information including full legal name, address, Federal Employer Identification number, etc. Applications must be signed by an authorized representative of the business/entity applying for funds.

SECTION 2. Provide detailed information on the business's history, organization, the proposed project, the timeline for implementation, and project costs.

SECTION 3. A primary goal of the RWHF program is to increase affordable housing opportunities and stabilize existing availability of workforce housing in the region. Provide detailed information on the current housing market and projected results of the project, including projected resale value and number of units being developed.

SECTION 4. Provide detailed information on the budget for the project. Additional sheets may be attached if necessary. Include detailed information on the sources and terms of all funds in the project.

Applicants may propose specific loan terms (Section 4.3) on a RWHF loan, although the actual terms extended if a loan is approved may vary after review by the RWHF review committee and approval of the SENAHC Board of Directors.

SECTION 5. Provide information on all existing and proposed debts and collateral of the business or project, and describe the security being offered for the RWHF loan (i.e., 2nd Mortgage, 1st lien on business assets, etc.). Please note that the review committee may require alternate or additional security from that offered by the applicant.

SECTION 6. Complete and sign all required forms. Attach additional required and non-required items per instructions.

****APPLICATIONS WILL BE REVIEWED ON AN AS NEEDED BASIS. PLEASE CONTACT SENDD OR A RURAL
WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR SUBMISSION DEADLINES.****

ELIGIBILITY: SENAHC Workforce Housing Loan Fund PROVIDES NONTRADITIONAL LOANS TO ASSIST WITH THE PRODUCTION OF WORKFORCE HOUSING. NO APPLICANT SHALL, ON THE GROUNDS OF RACE, COLOR, OR NATIONAL ORIGIN, BE EXCLUDED FROM PARTICIPATION IN, BE DENIED THE BENEFITS OF, OR BE SUBJECTED TO DISCRIMINATION IN ACCORDANCE WITH TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED. MHDF ALSO COMPLIES WITH TITLE IX OF THE EDUCATION AMENDMENTS OF 1972, SECTION 504 OF THE REHABILITATION ACT OF 1973, THE AGE DISCRIMINATION ACT OF 1975, THE DRUG ABUSE OFFICE AND TREATMENT ACT OF 1972, THE COMPREHENSIVE ALCOHOL ABUSE AND ALCOHOLISM PREVENTION, TREATMENT AND REHABILITATION ACT OF 1970, SECTION 523 AND 527 OF THE PUBLIC HEALTH SERVICE ACT OF 1912 AND TITLE VIII OF THE CIVIL RIGHTS ACT OF 1968.



7407 O St
Lincoln, NE 68510
(402) 475-2560 • FAX (402) 475-2794

FOR OFFICE USE ONLY

DATE RECEIVED: _____ STAFF: _____
COMMITTEE REVIEW: _____ BOARD: _____
PROJECT NUMBER: _____

Rural Workforce Housing Fund Application

PLEASE TYPE OR PRINT

SECTION 1. APPLICANT/DEVELOPER INFORMATION			
BORROWER NAME*	City of Falls City		
FED. ID #*	47-6006187		
ADDRESS*	2307 Barada Street		
CITY/STATE*	Falls City, NE	ZIP CODE*	68355
CONTACT PERSON*	Blake Buckminster	E-MAIL*	b.buckminster@fallscityne.us
PHONE*	402-245-2851	FAX	
I, the undersigned, hereby give permission to SEND, Inc. to research the company's history, make personal credit checks for major shareholders, contact the company's financial institution(s), and perform any other related activities for the reasonable evaluation of this project and the financial information contained herein.			
TYPED NAME COMPANY OFFICER*		DATE*	
SIGNATURE*			

*Indicates required information

****APPLICATIONS WILL BE REVIEWED ON A QUARTERLY BASIS OR AS RECEIVED. PLEASE
CONTACT SENDD OR A RURAL WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR
SUBMISSION DEADLINES.****

SECTION 2. DEVELOPER & PROJECT INFORMATION.			
2.1 Developer/Project Information			
DEVELOPER NAME*	Jackson Construction, LLC		
Owner of Project*	City of Falls City		
PROJECT ADDRESS*	1604 Morton Street & 1612 Fulton Street		
CITY/STATE*	Falls City, NE	ZIP CODE*	68355
2.1 Provide a brief description of development history. (Attach photos/documentation if applicable)			
<p>The Southeast Nebraska Land Bank (SNLB) has been acquiring properties in Falls City to eliminate neighborhood blight, prepare infill lots for workforce housing, and revitalize residential neighborhoods. The proposed project will be built at 1612 Fulton Street, a SNLB-owned lot, with Joe Jackson of Jackson Construction LLC, as General Contractor. The city-center neighborhood between the schools and a few blocks from the Historic Downtown District provide an excellent in-fill lot for this new house.</p>			
2.2 Describe in detail the proposed project for which funding is requested (include amenities).			
<p>The total project cost is estimated at \$320,000. See the attached plans with project costs. The house will be 1,062 square feet with a 2-bedroom, 1-bath, 448 sq. ft. 2-car garage single family home on the main level. An unfinished basement will be arranged with two egress windows for a 3rd and 4th bedroom and plumbing installed for a second bathroom. The total cost of the project including the lot is estimated at \$320,000.</p>			

2.3 Provide a brief timeline for the proposed project, including the dates the project will begin and be completed. If any part of the project has already started, please explain.

We expect construction could begin October 2024 with the lot, building plans, and permit fees valued at around \$10,000. Construction is expected to be completed within 8 months with listing of house around June 2025.

2.4 Provide a description of the project costs. Include details on specific construction costs.

1612 Fulton St., Falls City, NE 68355

Lot/fees/site prep Cost: Southeast Nebraska Land Bank \$6,250

Construction Costs: City \$318,745 plus Associated Construction Fees

Additional Fees: \$0.00

Total Loan Request: \$318,745

Anticipated Sale: \$325,000

Projected Payoff to SENAHC: \$321,245 - includes \$2,500 Loan Fee

Additional Costs: City Project Holding/closing: \$4,500

The City of Falls City contributed \$200,000 as an original investor in the SENAHC RWHF application.

SECTION 3. DEVELOPMENT/SITE INFORMATION.	
3.1 Site Description	
Zoning Type*	Medium Density Residential (R-2)
Current Ownership of Site*	Southeast Nebraska Land Bank - City of Falls City
Site description (Include current use of site):	
<p>The lot previously had a single family home, but is now vacant and seeded with grass. The 10,650 sq. ft. lot has 75 feet of street frontage and measures 142 feet in depth. In June 2024, Fulton Street in front of this property had new asphalt applied.</p>	
3.2 Availability of utilities to site.	
<p>All utilities are available on site as used by previous homeowners: Electric, Gas, Water, and Sewer.</p>	
3.3 Potential environmental issues on site.	
<p>None.</p>	
3.4 Participating Lenders (if applicable).	
Lending Institution	SENAHC
3.4 Selected Contractors (if applicable).	
Project Architect	New Ventures
General Contractor	Jackson Construction LLC
Property Manager	Joe Jackson
Other Project Team Members	Lucas Froeschl, Falls City EDGE & Blake Buckminster, City Building Inspector

SECTION 4. PROJECT BUDGET (SOURCES & USES OF FUNDS)

4.1 Project Costs (Sources & Uses of Funds)

Activity	Equity	RLF	Bank	State Assistance	Other	Total
Building/Property Acquisition	6250					6250
Building construction or remodeling		320000				320000
Site Development/Utilities						0
Other (specify below)						0
Total	6250	320000	0	0	0	326250

4.2 Proposed Financing Sources & Terms

Financing Terms

RWHF Request Amount (from 4.1 Table above)

\$ 326250

Interest Rate Requested

%

Term Length (number of years, balloon, etc.)

1 Year

Other terms (explain):*

Bank Financing Amount (from 4.1 Table above)

\$

Interest Rate

%

Payment terms (monthly, quarterly, etc.)

Payment Amount**

\$

Other terms (explain)

TOTAL MONTHLY DEBT SERVICES (all payments, including RLF, bank, etc.)

\$

*Loans may be offered with different terms than those requested.

**If multiple loans are involved, please include additional sheets detailing each loan, and enter combined payment amounts on this page.

SECTION 5. COLLATERAL/GUARANTOR

5.1 What type of security (i.e., mortgage, UCC-1 filing, automobile lien, etc.) and what position (first, second, etc.) will the guarantor provide to SEND, INC. to secure this loan. Provide a listing of all current and proposed liens against the property as well as any outstanding litigation against the guarantor(s),

Deed of Trust on lot.

Is any employee, board member, director, or controlling group of SENAHC an officer, director, or holder of any direct or indirect pecuniary interest of the developer?

☒ NO

☐ YES (explain below):

***Lists of these persons will be provided upon request.*

SECTION 7. ATTACHMENTS

READ CAREFULLY AND INCLUDE ALL NECESSARY ATTACHMENTS

- * Attachment A-1 to A2: Required forms for all applicants that are part of this application.
Attachments A-3 to A-14: not part of this application but may be applicable depending on the project.

Incomplete applications will not be reviewed.

	Check	
A-1	<input checked="" type="checkbox"/>	*Environmental Assurance and Compliance Commitment
A-2	<input checked="" type="checkbox"/>	*Financial Statements
A-3	<input type="checkbox"/>	Organization documents of the borrower and all guarantors (formation documents such as Articles and Bylaws).
A-4	<input type="checkbox"/>	Current Certificate of Good Standing for the borrower and all guarantors.
A-5	<input type="checkbox"/>	Current financial statements of borrower and all guarantors (audited if available).
A-6	<input type="checkbox"/>	Detail of outstanding litigation against borrower, developer or any guarantor.
A-7	<input type="checkbox"/>	Bios/resumes for development team.
A-8	<input type="checkbox"/>	Project financing information including timing assumptions, development sources and uses of funds and a 15 year operating proforma (operating income and expenses).
A-9	<input checked="" type="checkbox"/>	Project drawings and specifications as available.
A-10	<input checked="" type="checkbox"/>	Evidence of site control. (Ownership/Contracts)
A-11	<input type="checkbox"/>	Lenders title insurance commitment if a real estate lien will be used for collateral.
A-12	<input type="checkbox"/>	Independent appraisal of the property involved (if purchase is part of project)
A-13	<input type="checkbox"/>	Copy of deed to the property involved (required if purchase is part of project or mortgage on property is being offered as loan collateral)
A-14	<input type="checkbox"/>	Other attachments (<i>describe</i>):
		<hr/>
		<hr/>
		<hr/>

A-1: Rural Workforce Housing Fund ENVIRONMENTAL ASSURANCE AND COMPLIANCE COMMITMENT

NAME OF BUSINESS/DEVELOPER: City of Falls City

Hereinafter called the BORROWER), AND ITS PRINCIPALS (list all),

agree to indemnify and hold harmless SENAHC, hereinafter called the LENDER), its agents, and assigns from and against any damages, cost, liability or expense, including attorney and other professional fees directly or indirectly attributable to the release, threatened release, discharge, manufacture, production, storage, disposal or presence of hazardous toxic substances, either on or under BORROWER'S property or property in which the BORROWER has an interest, including adjoining real property, brought on by the BORROWER'S conduct of business.

The indemnification will specifically survive, and is entirely independent of: 1) the BORROWER'S contractual obligation to repay the primary obligation held by LENDER as amended, extended or renewed by BORROWER; 2) the repayment in full of the BORROWER'S indebtedness to LENDER; and 3) the release of LENDER'S liens on BORROWER'S real or personal property by payment, foreclosure or other action, including LENDER'S discretionary abandonment of lien.

Furthermore, the BORROWER, and its principals, as individuals, hereby assures the LENDER it will abide by all federal and state statutes and/or regulations regarding environmental protection issues. Additionally, the BORROWER and its principals agree to address environmental issues by area of compliance, and to operate under the latest applicable standards.

Executive Order 11988 - Floodplain Management requires Federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable. The Federal Emergency Management Agency (FEMA) designates floodplains as geographic zones subject to varying levels of flood risk. Each zone reflects the severity or type of potential flooding in the area. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs) or Flood Hazard Boundary Map.

☒ Site is not located within a SFHA (100 year floodplain).

☐ Site is located within a SFHA (100 year floodplain).

City of Falls City

Business/Developer

Date

Mark Harkendorff, Mayor

Authorized Official-Type or Print Name

Signature

Schedule D: Accounts and Notes Receivable. Describe any accounts receivable including mortgages and land contracts. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

--

Schedule E: Life Insurance. Provide name of Insurance company, face value, cash surrender value, and beneficiaries. Include information on any loans against policies.

Name of Company	Face Value	Cash Value	Loans	Beneficiaries
TOTALS				

Schedule F: Automobiles. Describe all automobiles, RV's, boats, motorcycles, etc. owned including year, make, model, and current value. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

Year	Make	Model	Value	Loans Payable		
				Lender Name	Monthly Payment	Balance Owed
TOTALS				TOTALS		

Schedule G: Unpaid Taxes. Describe in detail, as to type, to whom payable, when due, amount due, and to what property, if any, a tax lien attaches.

--

Schedule H: Other Assets. Describe all other assets including household items, personal goods, etc., not described elsewhere in this statement. If any is pledged as security, include name of lienholder, amount of lien, payment terms, etc.

--

Schedule I: Other Liabilities. Describe any other liabilities; include name of lienholder, amount of lien, payment terms, and loan status.

--

I/we have carefully read and submitted the foregoing information provided on all three pages of this statement to the Lender named above. The information is presented as a true and accurate statement of my/our financial condition on the date indicated. This statement is provided for the purpose of obtaining and maintaining credit with said Lender. I/we agree that if any material change(s) occur(s) in my/our financial condition that I/we will immediately notify said Lender of said change(s) and unless said Lender is so notified it may continue to rely upon this financial statement and the representations made herein as a true and accurate statement of my/our financial condition.

I/we authorize the Lender to verify the accuracy of the statements made herein and to determine my/our creditworthiness, including contacting any of the lenders, account holders, etc. described herein. I/we authorize and instruct any lender, person or consumer reporting agency to furnish to the Lender any information that it may have or obtain in response to such credit inquiries.

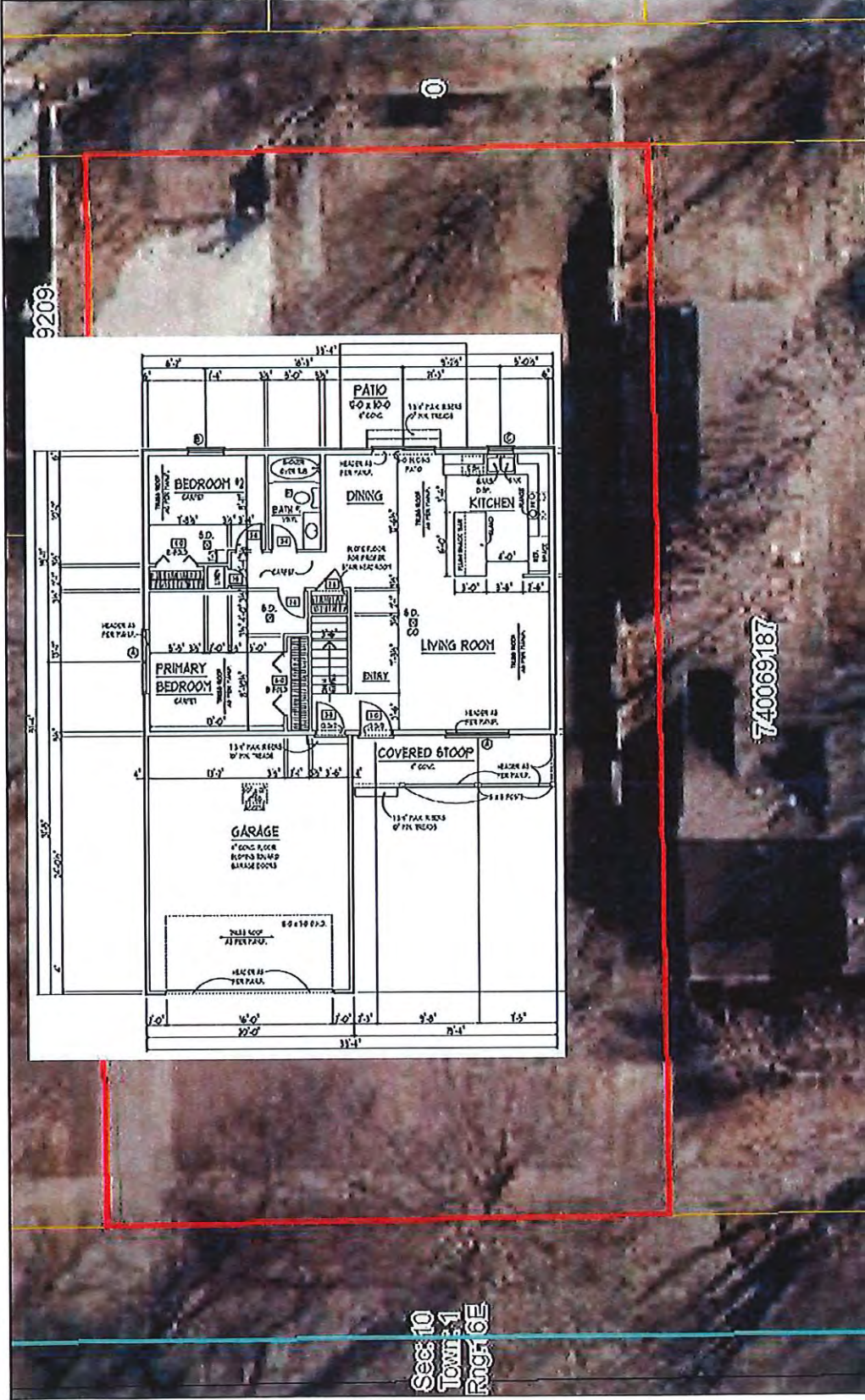
I/we also hereby certify that no payment requirements listed herein are delinquent or in default except as follows; if "NONE" so state.

--

I/we fully understand that it is a federal crime punishable by fine or imprisonment or both to knowingly make any false statements on this form, pursuant to 18 U.S.C. §§ 1001, 3571, and 1014.

Signature _____	Date _____
Printed Name _____	Social Security No. _____
 Signature _____	 Date _____
 Printed Name _____	 Social Security No. _____





Google Maps 1612 Fulton St

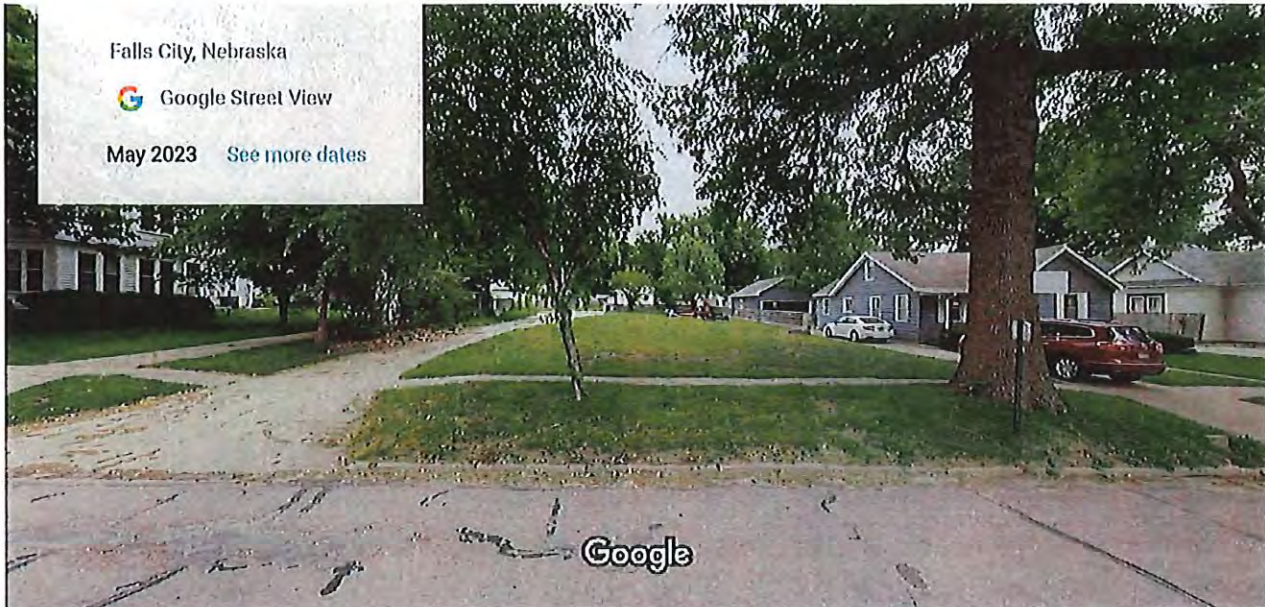
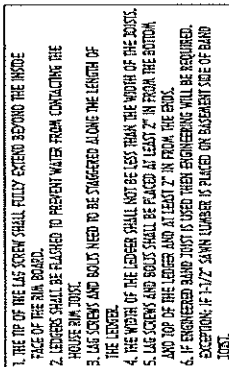


Image capture: May 2023 © 2024 Google





2. The devices are equipped with approved release mechanisms which are operable from the inside without the use of a key or special knowledge or effort; and

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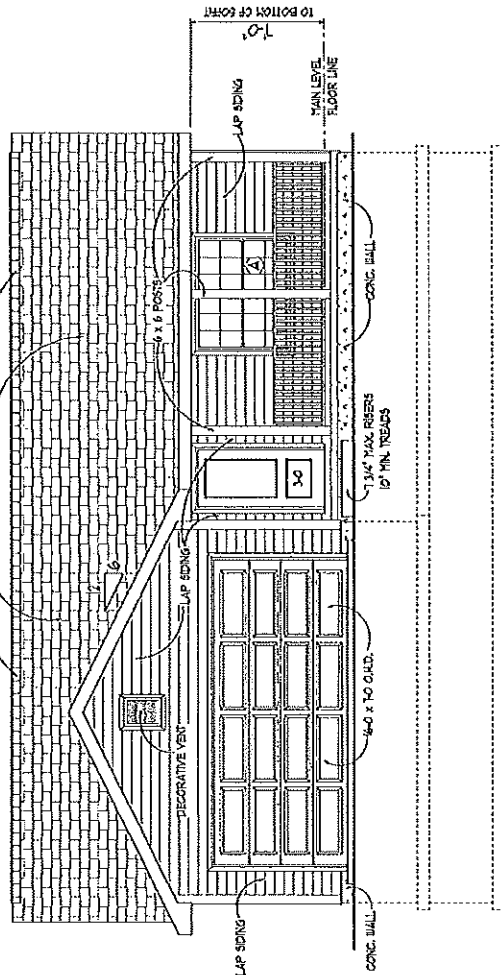
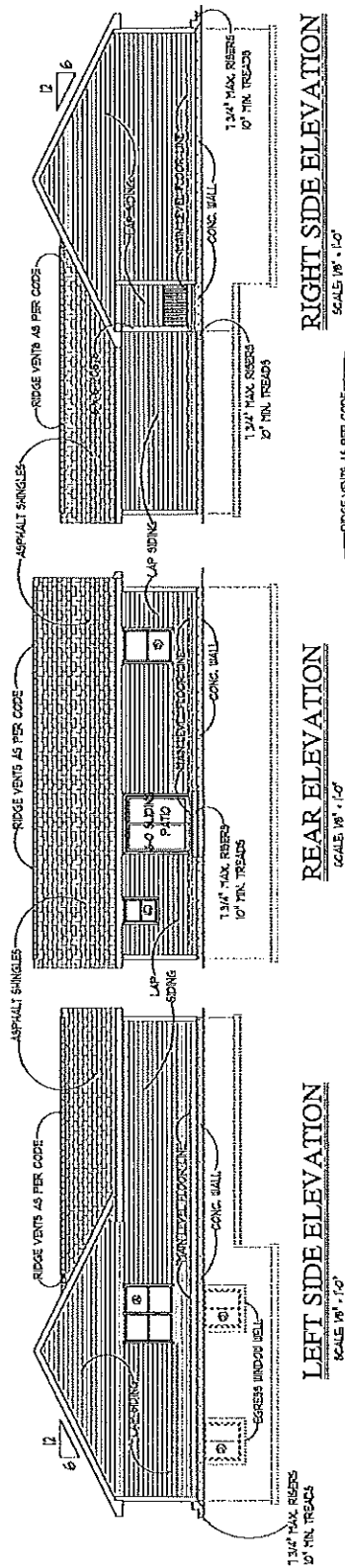
NV0674
FALLS CITY (3)
RANCH PL
SH 2 OF 2

5-2-21

TYPICAL WOOD DECK DETAIL

	UP TO 7'-0"	7'-1" TO 14'-0"	14'-1" TO 18'-0"
36955 SAN HT.			
UTZ DIA. LAG SOWB	1 ROW @ 16" O.C.	2 ROWS @ 16" O.C.	2 ROWS @ 17" O.C.

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FRONT ELEVATION
SCALE 1/4" = 1'-0"

- NOTES:
1. RIDGE VENTS AS PER CODE.
 2. ASPHALT SHINGLES ON ALL ROOF SURFACES.
 3. PROVIDE RAIN GUTTERS AS NEEDED.
 4. ALL ROOF PITCHES AS NOTED.
 5. OVERHANGS 6" @ 20" GABLE ENDS @ 12".
 6. TRUSS ROOF DETAILS AS PER TRUSS MANUF.

ROOF PLAN
SCALE 3/16" = 1'-0"

WINDOW SCHEDULE *									
KEY NO.	SIZE	MANUF.	R.O.	GLASS SZ.	STYLE	HDR.	EGRESS		
①	2020-2	ANDERSEN	6'-0" x 5'-0"	2-5 1/2" x 2-1 9/16"	SINGLE HUNG	LVL	YES		
②	3650		3'-6" x 5'-0"	2-1 1/4" x 2-1 9/16"		(3.2x2)	YES		
③	2636		2'-6" x 3'-6"	1-1 1/2" x 1-4 9/16"			NO		
④	4040		4'-0" x 4'-0"	1-7 9/16" x 3'-5 1/4"	SLIDER				

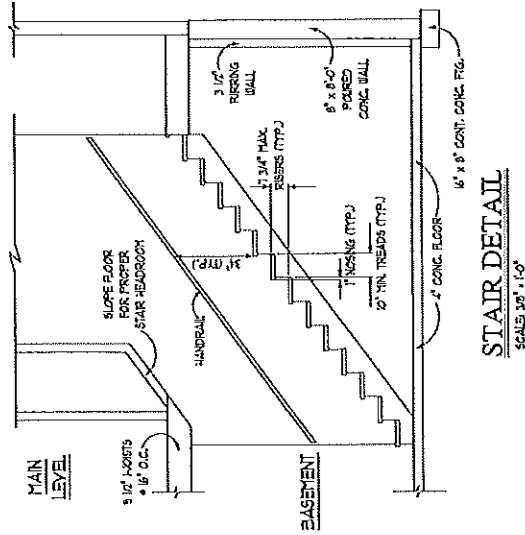
TO BE APPROVED BY CONTRACTOR PRIOR TO ORDERING

Designed by me as architect or engineer
and construction from these plans should
not be undertaken without my assistance
or approval. I warrant the accuracy of the
information furnished to me by others who
conditions may vary. Designer does
not warrant the suitability of these plans
for use on your project. See, Conditions of
Contract for details. Construction of the
suitability of these plans for your specific
site and application.

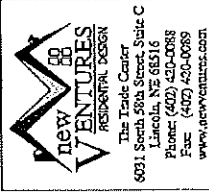
NY06124
FALLS CITY (EDGED)
RANCH PLAN
SHT 3 OF 7

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NOTE:
ALLOW 6'-8" MIN
STAIR HEADROOM



Designer is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. Because the conditions may vary, designer does not warrant the suitability of these plans for use on your specific site. Consult your construction professional to determine the suitability of these plans for your specific site and jurisdiction.



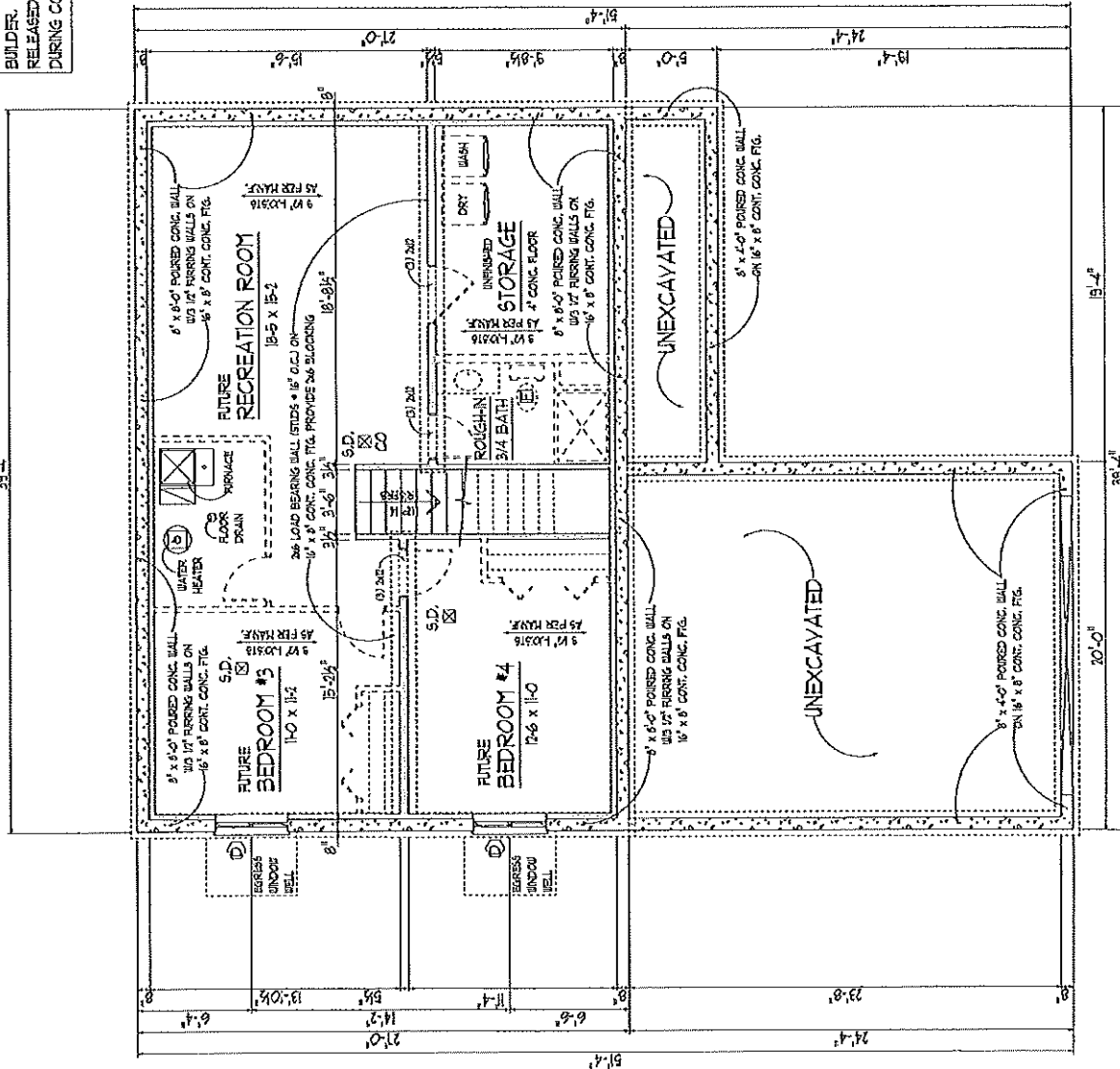
NV06124
FALLS CITY (EDGE)
RANCH PLAN
SHEET 4 OF 7

FOUNDATION PLAN

0-1-71 51925

FUTURE
FINISHED 35MT,
171 SQ.FT.

NOTE:
8'-0" FOUNDATION
WALL HEIGHT UNLESS
OTHERWISE SPECIFIED.



NOTE:
8'-0" CEILING HEIGHT
ON MAIN LEVEL UNLESS
OTHERWISE SPECIFIED.

MAIN LEVEL
FLOOR PLAN

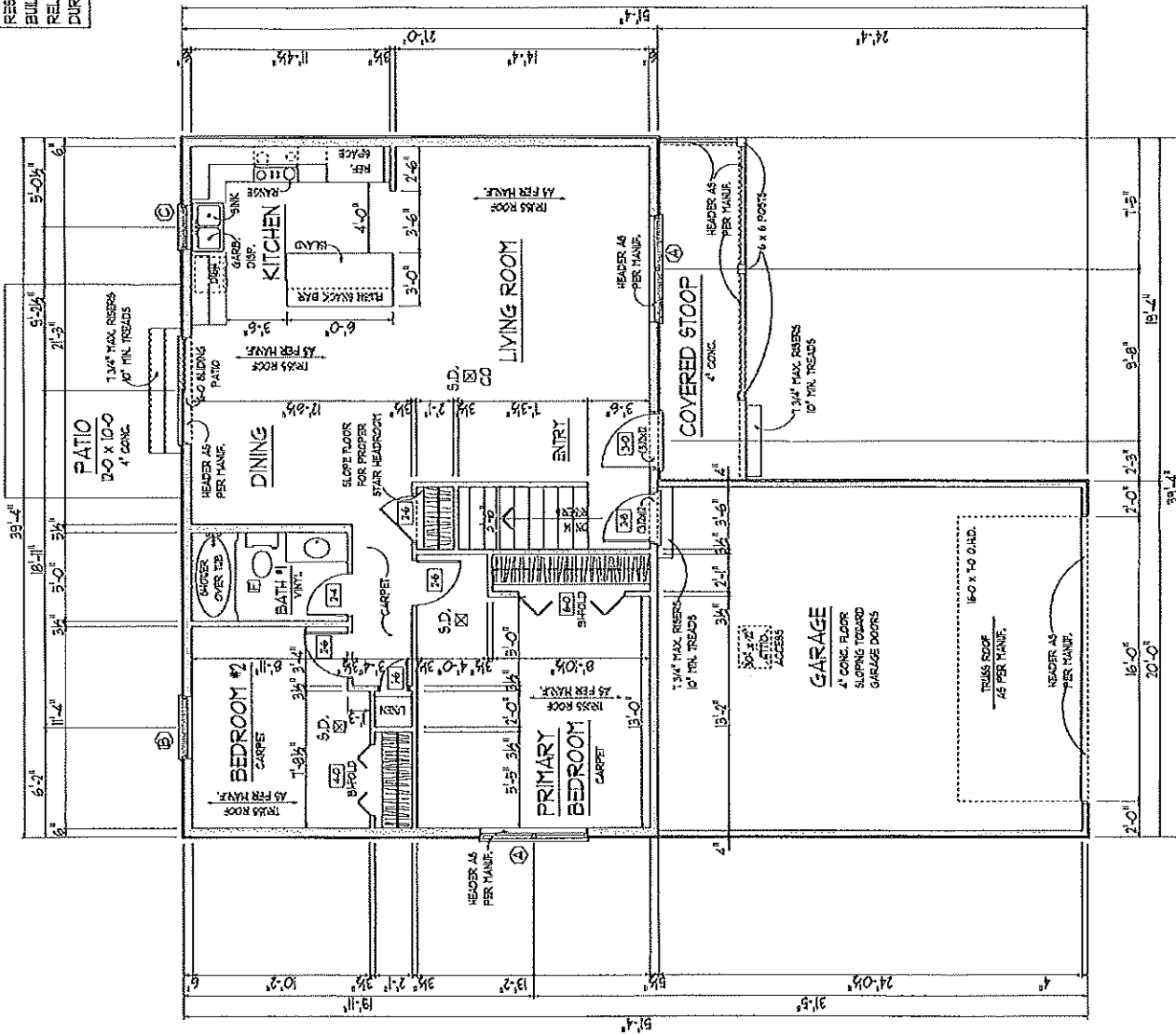
MAIN LEVEL	1062 SQ.FT.
GARAGE	448 SQ.FT.

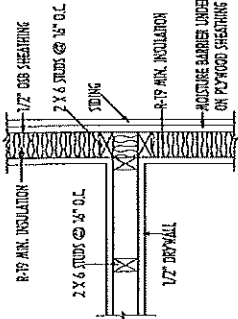
Designer is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. Because site conditions may vary, designer does not warrant the suitability of these plans for use on your specific site. Consult your construction professional to determine the suitability of these plans for your specific site and application.



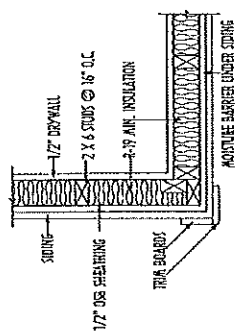
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FALLS CITY (EDGE)
RANCH PLAN
SHT 5 OF 7

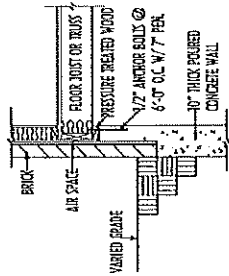




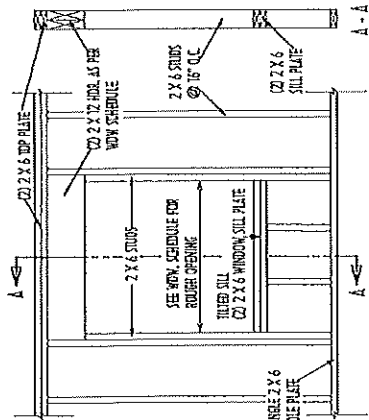
TYPICAL WALL INTERSECTION DETAIL
SCALE 1/2\"/>



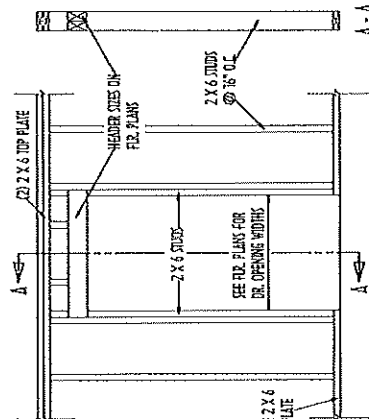
TYPICAL EXT. CORNER SECTION DETAIL
SCALE 1/2\"/>



TYPICAL BRICK SECTION
SCALE 1/2\"/>



TYPICAL WINDOW OPENING DETAIL
SCALE 1/2\"/>



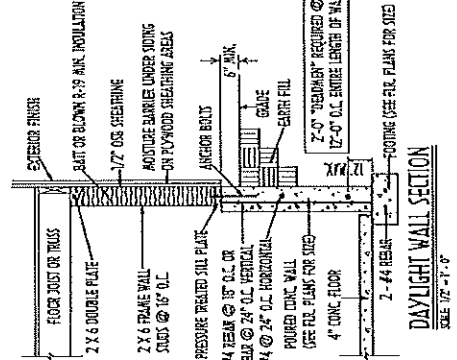
TYPICAL DOOR OPENING DETAIL
SCALE 1/2\"/>

TYPICAL WALL SECTION
SCALE 3/8\"/>

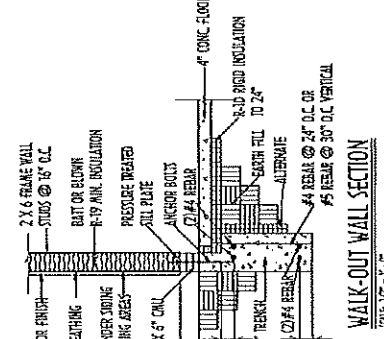
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NY0604
FALLS CITY (EDGE)
RANCH PLAN
SHT 1 OF 1



DAYLIGHT WALL SECTION
SCALE 1/2\"/>



WALK-OUT WALL SECTION
SCALE 1/2\"/>

REBAR NOTES	
HORIZONTAL REINFORCEMENT SHOULD BE 18\"/>	
8-0\"/>	
#4 REBAR @ 24\"/>	
4-0\"/>	
8-0\"/>	
#4 REBAR @ 24\"/>	
#4 REBAR @ 18\"/>	
10-0\"/>	
#4 REBAR @ 24\"/>	
#4 REBAR @ 18\"/>	

HEADER SCHEDULE	
ALL EXTERIOR HEADERS SHALL BE *	
2x4 WALLS: (C) 2x12 HORIZ. FR #2	
2x6 WALLS: (C) 2x12 HORIZ. FR #2	
ALL INTERIOR HEADERS SHALL BE *	
LESS THAN 4-0\"/>	(C) 2x6
4-0\"/>	(C) 2x8
6-0\"/>	(C) 2x12
OVER 8-0\"/>	NOTED ON PLAN

* UNLESS NOTED OTHERWISE ON PLANS

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JACKSON CONSTRUCTION, LLC

ESTIMATE

JOE JACKSON
64872 710RD
Verdon, NE 68457
(402) 245-3580

RE: City of Falls City
co: Blake Buckminster
Burton Drive
Falls City, NE 68355

DATE: 5/8/24

MATERIAL & SERVICE DESCRIPTION

New ranch style house as specified in plans on city property:	\$308,745
includes:	main floor complete finish
	finished laundry room in basement
not included:	driveway
	sidewalks
	final grading
	lawn seeding

Total Estimate:	\$ 308,745.00
-----------------	---------------

*This is a good faith estimate; final project cost may vary depending on changes in material cost and with any additional labor due to unforeseen situations and/or changes to the original plan



SERVING SOUTHEAST NEBRASKA

Rural Workforce Housing Fund DEVELOPER LOAN APPLICATION

INSTRUCTIONS

****PLEASE READ THESE INSTRUCTIONS CAREFULLY BEFORE PROCEEDING-
INCOMPLETE APPLICATIONS WILL BE RETURNED TO APPLICANTS****

Completed applications will be reviewed on an as needed basis following submission to the Rural Workforce Housing Fund review committee, who will make a recommendation (along with loan terms and provisions) to the Southeast Nebraska Affordable Housing Council Board, who will make a final approval or denial. A non-refundable application fee of 1.0% of the loan amount may be requested with the completed application. Submit only the completed and signed application forms and all required attachments. Incomplete applications will not be reviewed until all sections are complete and all required information is submitted. The SENAHC Board of Directors and RWHF Committee may waive specific requirements and/or forms.

The following items make up the application packet:

SECTION 1. Complete all sections regarding the applicants information including full legal name, address, Federal Employer Identification number, etc. Applications must be signed by an authorized representative of the business/entity applying for funds.

SECTION 2. Provide detailed information on the business's history, organization, the proposed project, the timeline for implementation, and project costs.

SECTION 3. A primary goal of the RWHF program is to increase affordable housing opportunities and stabilize existing availability of workforce housing in the region. Provide detailed information on the current housing market and projected results of the project, including projected resale value and number of units being developed.

SECTION 4. Provide detailed information on the budget for the project. Additional sheets may be attached if necessary. Include detailed information on the sources and terms of all funds in the project.

Applicants may propose specific loan terms (Section 4.3) on a RWHF loan, although the actual terms extended if a loan is approved may vary after review by the RWHF review committee and approval of the SENAHC Board of Directors.

SECTION 5. Provide information on all existing and proposed debts and collateral of the business or project, and describe the security being offered for the RWHF loan (i.e., 2nd Mortgage, 1st lien on business assets, etc.). Please note that the review committee may require alternate or additional security from that offered by the applicant.

SECTION 6. Complete and sign all required forms. Attach additional required and non-required items per instructions.

****APPLICATIONS WILL BE REVIEWED ON AN AS NEEDED BASIS. PLEASE CONTACT SENDD OR A RURAL
WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR SUBMISSION DEADLINES.****

ELIGIBILITY: SENAHC Workforce Housing Loan Fund PROVIDES NONTRADITIONAL LOANS TO ASSIST WITH THE PRODUCTION OF WORKFORCE HOUSING. NO APPLICANT SHALL, ON THE GROUNDS OF RACE, COLOR, OR NATIONAL ORIGIN, BE EXCLUDED FROM PARTICIPATION IN, BE DENIED THE BENEFITS OF, OR BE SUBJECTED TO DISCRIMINATION IN ACCORDANCE WITH TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AS AMENDED. MHDF ALSO COMPLIES WITH TITLE IX OF THE EDUCATION AMENDMENTS OF 1972, SECTION 504 OF THE REHABILITATION ACT OF 1973, THE AGE DISCRIMINATION ACT OF 1975, THE DRUG ABUSE OFFICE AND TREATMENT ACT OF 1972, THE COMPREHENSIVE ALCOHOL ABUSE AND ALCOHOLISM PREVENTION, TREATMENT AND REHABILITATION ACT OF 1970, SECTION 523 AND 527 OF THE PUBLIC HEALTH SERVICE ACT OF 1912 AND TITLE VIII OF THE CIVIL RIGHTS ACT OF 1968.



7407 O St
Lincoln, NE 68510
(402) 475-2560 • FAX (402) 475-2794

FOR OFFICE USE ONLY

DATE RECEIVED: _____ STAFF: _____
COMMITTEE REVIEW: _____ BOARD: _____
PROJECT NUMBER: _____

Rural Workforce Housing Fund Application

PLEASE TYPE OR PRINT

SECTION 1. APPLICANT/DEVELOPER INFORMATION			
BORROWER NAME*	City of Falls City		
FED. ID #*	47-6006187		
ADDRESS*	2307 Barada Street		
CITY/STATE*	Falls City, NE	ZIP CODE*	68355
CONTACT PERSON*	Terry Manson	E-MAIL*	tmanson@sendd.org
PHONE*	402-475-2560	FAX	
I, the undersigned, hereby give permission to SENAHC to research the company's history, make personal credit checks for major shareholders, contact the company's financial institution(s), and perform any other related activities for the reasonable evaluation of this project and the financial information contained herein.			
TYPED NAME COMPANY OFFICER*	Mark Harkendorff, Mayor	DATE*	
SIGNATURE*			

*Indicates required information

****APPLICATIONS WILL BE REVIEWED ON A QUARTERLY BASIS OR AS RECEIVED. PLEASE
CONTACT SENDD OR A RURAL WORKFORCE HOUSING FUND COMMITTEE MEMBER FOR
SUBMISSION DEADLINES.****

SECTION 2. DEVELOPER & PROJECT INFORMATION.			
2.1 Developer/Project Information			
DEVELOPER NAME*	SENDD Contracting		
Owner of Project*	City of Falls City		
PROJECT ADDRESS*	1612 Fulton Street		
CITY/STATE*	Falls City, NE	ZIP CODE*	68355
2.1 Provide a brief description of development history. (Attach photos/documentation if applicable)			
<p>The City of Falls City will be partnering with SENDD Contracting on this project. SENDD Contracting is a State-registered general contractor that is comprised of the Southeast Nebraska Development District (SENDD) Housing Team. With a combined 90 plus years of experience and over 2,300 successful residential and commercial construction projects under their belt, SENDD Contracting is an experienced and adept team. Keeping in line with their primary goal of meeting customers' needs through quality workmanship and building valued relationships, SENDD Contracting offers regional services throughout southeast Nebraska, including: pre-construction consultation, job site and project management, administrative support, and document control. The team evaluates each individual project for constructibility, cost estimation, and construction scheduling, all while maintaining consistent communication with property owners and/or investors to ensure all project objectives are met and exceeded.</p> <p>Included in SENDD Contracting's robust project history, are several homes that were selected for the purchase-rehab-resell (PRR) process. Over the past two years, SENDD Contracting has overseen the successful completion of over 15 PRR projects throughout southeast Nebraska, including: four projects Geneva, two in Peru, one in Deshler, one in Sevard, one in Nebraska City, one in Stromsburg, and eight in York. They have recently completed several successful new construction projects throughout the region (Nebraska City, Henderson, Geneva, & Fairbury). They are actively managing three additional new construction projects in Geneva, three in Thayer County, two in Auburn, and two in Pawnee City, while pursuing similar projects throughout the region. The combined successes of these experiences have allowed SENDD Contracting to develop a niche for operating timely and cost-efficient projects. Having observed the impact of these housing projects throughout their region, the team looks forward to engaging in more of these projects to further develop new housing and to update and stabilize the housing stock throughout southeastern Nebraska, while also providing safe, decent, and affordable housing to members of the region's workforce population within the SENDD member counties and communities.</p>			
2.2 Describe in detail the proposed project for which funding is requested (Include amenities).			
<p>SENDD Contracting staff have been working with the local representative from the City of Falls City & Falls City Edge to create opportunities for much needed new residential housing within their community. The proposed project will be built on a lot Southeast Nebraska Land Bank (SNLB) owned lot utilizing SENDD Contracting services as a general contractor to complete the unit. The lot is located in an existing established area of Falls City, NE with all infrastructure in place. This lot was selected because it's in an established area of town in close proximity to all resources that Falls City has to offer. This area offers easy access to all areas of town situated between the schools. Several local business, organizations, & City and officials realize there is a glaring need for new residential construction in Falls City to help support the demand for local employment. Local business find it difficult to attract and maintain much needed workforce due to the lack of inventory. There is a significant need for new single-family housing construction in Falls City. Recent data provided from the U.S. Census (2022 American Community Survey) shows that there are approximately 1,893 occupied households in the community. Of this number, an overwhelming 1,678 homes are listed as having been constructed prior to 1980, while 706 of those units predate 1940. This is especially concerning because the potential for deterioration and unsafe living conditions increases exponentially for homes aged 40+ years. According to the data, only around 215 Falls City homes are newer than 40 years old.</p> <p>Falls City's disproportionately aged housing stock often fails to meet the needs of modern families. Many of the older homes are smaller, include outdated electrical wiring/other city building code violations, do not include accessibility features, and are located on lots lacking in space and adequate shelter for families' vehicles. If approved, this RWHF application will result in the creation of a much-needed single-family home that will accommodate the needs of a modern workforce family. An investment in the improvement of Falls City's housing stock will help provide stability for years to come - for both the homebuyers and the overall community, as there is a direct correlation between quality, affordable housing availability and the ability to retain residents. The City of Falls City is the perfect location to implement this project, as its status as the county seat and a regional commerce center have established it as a popular hub for employment, recreation, and healthcare services. This lot was selected because it is a very nice in-fill lot located in ideal area of town, with tons of potential. If approved, this project has potential to spiral into several future applications establishing the foundation for several future projects.</p> <p>The total cost of the project including the lot is estimated at \$324,150. See the attached plans and building details. The City will partner with SENDD Contracting for the project management and construction of the unit. The house will be available and listed for sale upon approval of the application with the anticipation of a recouping an offer from a pre-qualified buyer prior to completion. Upon SENAHF committee approval, the application will go to the SENAHF board for final approval. The City will pay off the loan and SENAHF loan fees at the time of sale & closing of the property. This will net SENAHF approximately \$2,500 in sale proceeds at closing. The City will provide the lot and will be responsible for all holding and closing costs associated with ownership.</p> <p>The house will be built as a 1,002 sq ft, 4 bedroom, 2 Bathroom ranch layout with an attached two stall garage. It has 2 bedrooms and 1 bathroom on the main level with an additional 2 bedrooms, 1 bathroom, and family room finished in the basement. The basement also has an unfinished utility/laundry room and storage room. In total it will have roughly 1,602 of finished living space. It will be wood framed and feature 2"x6" exterior walls with 2"x4" interior and 8" ceilings throughout. The exterior will include vinyl siding, a covered front porch, & back patio slab. See attached plans.</p>			

2.3 Provide a brief timeline for the proposed project, including the dates the project will begin and be completed. If any part of the project has already started, please explain.

The City will provide the lot, building plans, and building permit fees for a value estimated roughly \$10,000. This is a large lot located in a great location. Local officials have reviewed the project and the proposed house plan for building and conclude that this is the exact size, style, and price point of house desperately need in Falls City. If the project is approved, we will begin ground work within 10-20 days. The total estimated time of the project completion will be 6-8 months from the time of groundbreaking. This time frame will allow for a completion date of March - April, 2025.

2.4 Provide a description of the project costs. Include details on specific construction costs.

One Unit: 1612 Fulton Street - Falls City, NE

Lot/fees/site prep/building plans: City	\$10,000 - Project Equity
Construction Costs: City	\$317,900 - Associated Construction Expenses
Additional Fees:	\$0.00
Total Loan Request:	\$317,900

Anticipated Sale: \$321,000 - \$330,000
 Projected Payoff to SENAHC: \$320,400 - includes \$2,500 Loan Fee

Additional Costs: City
 Project Holding / closing: \$4,500

The City of Falls City is an original investor/partner in the SENAHC RWHF application and has contributed \$200,000 to the matching portion of the fund which generated an additional \$250,000 in grant funds. These figures are also to be considered as equity in this project.

SECTION 3. DEVELOPMENT/SITE INFORMATION.	
3.1 Site Description	
Zoning Type*	Medium Density Residential (R-2)
Current Ownership of Site*	Southeast Nebraska Land Bank - City of Falls City
Site description (Include current use of site):	
<p>The Southeast Nebraska Land Bank will, upon approval of this application, provide the vacant dirt lot at 1612 Fulton Street, Falls City, NE. This lot is in convenient central location in Falls City. The lot is roughly 10,650 SF (75'x142') with a flat grade ideal for full basement construction. The proposed house plan of 1,062 sq. feet will fit nicely on the selected lot leaving plenty of yard space to be consistent within the neighborhood.</p>	
3.2 Availability of utilities to site.	
<p>All utilities are currently available; Sewer, Water, Electricity, and Gas. All the infrastructure is in place and ready to build.</p>	
3.3 Potential environmental issues on site.	
<p>None are noted. Not in 100 year flood plain.</p>	
3.4 Participating Lenders (if applicable).	
Lending Institution	SENAHC
3.4 Selected Contractors (if applicable).	
Project Architect	New Venturos
General Contractor	SEND D Contracting
Property Manager	Terry Manson
Other Project Team Members	Local: Lucas Froeschl, Anthony Nussbaum - SEND D: Jim Warrelmann, Brent Pendgraft, Ryan Bauman, Cole Hartgerink, Nichole Jones & Amanda Stutzman

SECTION 4. PROJECT BUDGET (SOURCES & USES OF FUNDS)

4.1 Project Costs (Sources & Uses of Funds)

Activity	Equity	RLF	Bank	State Assistance	Other	Total
Building/Property Acquisition	10000.00	0.00	0.00	0.00	0.00	\$ 10,000.00
Building construction or remodeling	0.00	317900	0.00	0.00	0.00	\$ 317,900.00
Site Development/Utilities						\$ 0.00
Other (specify below)						\$ 0.00
Total	10000	317900	0	0	0	\$ 327,900.00

4.2 Proposed Financing Sources & Terms

Financing Terms

RWHF Request Amount (from 4.1 Table above)

\$ 317,900

Interest Rate Requested

%

Term Length (number of years, balloon, etc.)

1 year

Other terms (explain):*

Bank Financing Amount (from 4.1 Table above)

\$

Interest Rate

%

Payment terms (monthly, quarterly, etc.)

Payment Amount**

\$

Other terms (explain)

TOTAL MONTHLY DEBT SERVICES (all payments, including RLF, bank, etc.)

\$

*Loans may be offered with different terms than those requested.

**If multiple loans are involved, please include additional sheets detailing each loan, and enter combined payment amounts on this page.

SECTION 5. COLLATERAL/GUARANTOR

5.1 What type of security (i.e., mortgage, UCC-1 filing, automobile lien, etc.) and what position (first, second, etc.) will the guarantor provide to SENAHC to secure this loan. Provide a listing of all current and proposed liens against the property as well as any outstanding litigation against the guarantor(s),

Deed of Trust on both lots in senior position. Security agreement and UCC-1 financing statement in senior position. All current liens to be paid at closing to provide a free and clear title to the City.

Is any employee, board member, director, or controlling group of SENAHC an officer, director, or holder of any direct or indirect pecuniary interest of the developer?

☒ NO

☐ YES (explain below):

***Lists of these persons will be provided upon request.*

SECTION 7. ATTACHMENTS

READ CAREFULLY AND INCLUDE ALL NECESSARY ATTACHMENTS

- * Attachment A-1 to A-2: Potentially Required forms for all applicants that are part of this application.
Attachments A-3 to A-14: not part of this application but may be applicable depending on the project.

Incomplete applications will not be reviewed.

	Check	
A-1	<input checked="" type="checkbox"/>	*Environmental Assurance and Compliance Commitment
A-2	<input type="checkbox"/>	*Financial Statements
A-3	<input type="checkbox"/>	Organization documents of the borrower and all guarantors (formation documents such as Articles and Bylaws).
A-4	<input type="checkbox"/>	Current Certificate of Good Standing for the borrower and all guarantors.
A-5	<input type="checkbox"/>	Current financial statements of borrower and all guarantors (audited if available).
A-6	<input type="checkbox"/>	Detail of outstanding litigation against borrower, developer or any guarantor.
A-7	<input checked="" type="checkbox"/>	Bios/resumes for development team.
A-8	<input type="checkbox"/>	Project financing information including timing assumptions, development sources and uses of funds and a 15 year operating proforma (operating income and expenses).
A-9	<input checked="" type="checkbox"/>	Project drawings and specifications as available.
A-10	<input checked="" type="checkbox"/>	Evidence of site control. (Ownership/Contracts)
A-11	<input type="checkbox"/>	Lenders title insurance commitment if a real estate lien will be used for collateral.
A-12	<input type="checkbox"/>	Independent appraisal of the property involved (if purchase is part of project)
A-13	<input type="checkbox"/>	Copy of deed to the property involved (required if purchase is part of project or mortgage on property is being offered as loan collateral)
A-14	<input checked="" type="checkbox"/>	Other attachments (<i>describe</i>): See attachment Exhibit A: Scope of Services, House Plans, Site Photo, Flood map, Staff Bios, & Previously Completed Project Photos Contracts Available upon Request

**A-1: Rural Workforce Housing Fund
ENVIRONMENTAL ASSURANCE AND COMPLIANCE COMMITMENT**

NAME OF BUSINESS/DEVELOPER: City of Falls City

Hereinafter called the BORROWER, AND ITS PRINCIPALS (list all),

agree to indemnify and hold harmless SENAHC, hereinafter called the LENDER, its agents, and assigns from and against any damages, cost, liability or expense, including attorney and other professional fees directly or indirectly attributable to the release, threatened release, discharge, manufacture, production, storage, disposal or presence of hazardous toxic substances, either on or under BORROWER'S property or property in which the BORROWER has an interest, including adjoining real property, brought on by the BORROWER'S conduct of business.

The Indemnification will specifically survive, and is entirely independent of: 1) the BORROWER'S contractual obligation to repay the primary obligation held by LENDER as amended, extended or renewed by BORROWER; 2) the repayment in full of the BORROWER'S indebtedness to LENDER; and 3) the release of LENDER'S liens on BORROWER'S real or personal property by payment, foreclosure or other action, including LENDER'S discretionary abandonment of lien.

Furthermore, the BORROWER, and its principals, as individuals, hereby assures the LENDER it will abide by all federal and state statutes and/or regulations regarding environmental protection issues. Additionally, the BORROWER and its principals agree to address environmental issues by area of compliance, and to operate under the latest applicable standards.

Executive Order 11988 - Floodplain Management requires Federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable. The Federal Emergency Management Agency (FEMA) designates floodplains as geographic zones subject to varying levels of flood risk. Each zone reflects the severity or type of potential flooding in the area. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs) or Flood Hazard Boundary Map.

☒ Site is not located within a SFHA (100 year floodplain).

☐ Site is located within a SFHA (100 year floodplain).

City of Falls City, Nebraska

Business/Developer

Date

Mark Harkendorff, Mayor

Authorized Official-Type or Print Name

Signature

PERSONAL FINANCIAL STATEMENT



Lender:

SENAHC

Rural Workforce Housing Fund

7407 O St

Lincoln, NE 68510

IMPORTANT: DIRECTIONS TO APPLICANT (Read Carefully)

For projects with multiple owners of 20% or more of the business seeking financing, a personal financial statement must be completed for each of these owners. Complete all sections. If additional space is needed to complete any section, provide the information on a separate sheet and include with this statement. Be as clear and detailed as possible with all information. All information will be kept strictly confidential and used only for consideration of the loan application with which this statement is being given. Alternate forms of a personal financial statement may be accepted (i.e., SBA form) but only if it includes all of the information requested in this form.

Business Name

Name(s)

Personal Residence Address

City, State, ZIP

Business Phone

Residence Phone

Cell Phone

Other Phone

E-Mail Address

ASSETS	\$	LIABILITIES AND NET WORTH	\$
Cash on hand & In Banks (see schedule A)		Accounts Payable, Including credit cards (see schedule A)	
IRA & Retirement Accounts (see schedule B)		Other Notes Payable to Banks and Others (see schedule A-2)	
Other Stocks, Bonds, Securities, etc. (see schedule B)		Notes Payable to Relatives (see schedule A-2)	
Real Estate (see schedule C)		Mortgages or Contracts on Real Estate (see schedule C)	
Accounts & Notes Receivable (see schedule D)		Loans on Life Insurance (see schedule E)	
Life Insurance-Cash Surrender Value Only (see schedule E)		Automobile Loans (see schedule F)	
Automobiles-Present Value (see schedule F, Include year/make/model)		Unpaid Taxes (see schedule G)	
Other Assets & Personal Property (Itemize below, use schedule H to describe in more detail if necessary)		Other Liabilities (Itemize below, use Schedule I to describe in more detail if necessary)	
		TOTAL LIABILITIES	
		NET WORTH	
TOTAL ASSETS		TOTAL LIABILITIES AND NET WORTH	

SOURCES OF INCOME		\$	GENERAL INFORMATION	
Salary			Employer	
Bonuses and Commissions			No. of Years	
Net Investment Income			Current Position	
Real Estate Income			Address	
*Other Income (Describe below)				
TOTAL			Phone No.	
*Description of Other Income:			Partner, officer or owner in any other venture? <input type="checkbox"/> No <input type="checkbox"/> Yes	
			If so, explain below:	

CONTINGENT LIABILITIES		\$	GENERAL INFORMATION (CONTINUED)	
As endorser, co-maker or guarantor:			Are you a defendant in any suits or legal action? <input type="checkbox"/> No <input type="checkbox"/> Yes	
On leases:			If so, explain:	
Legal claims & judgments:				
Provision for federal income taxes:			Have you ever taken bankruptcy? <input type="checkbox"/> No <input type="checkbox"/> Yes	
Other special debt (detail below):			If so, explain:	
TOTAL			Income taxes settled through (year)	

Schedule A: Bank Accounts; Notes or Loans Payable to Banks and Others. List here the names of all the institutions at which you maintain a deposit account, where you have obtained loans, lines of credits, or credit cards, or have an outstanding account.						
Complete for All Accounts		Complete for Savings & Checking Accounts	Complete for Outstanding Accounts (i.e., Medical Bills), Credit Cards, or Other Loans (i.e., Student Loan)			
Name of Institution or Lender	Account Type (checking, savings, credit card, etc.)	Balance on Deposit	Credit Limit	Current Balance	Monthly Payment	Secured by What Assets (i.e., boat, motorcycle, etc.)
TOTAL			TOTAL			

Schedule B: IRA & Retirement Accounts, Stocks, Bonds, Securities, etc. Use attachments if necessary. Each attachment should be identified as part of this statement and signed.				
Type of Investment	Name and Description of Account, Stock, Bond, Security, etc.	Held in Name of	Market Value	Pledged*
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
				<input type="checkbox"/> No <input type="checkbox"/> Yes
			TOTAL	

*If yes, explain below:

Schedule C. Real Estate Owned.	List each parcel separately. Use attachments if necessary; each attachment must be identified as part of this statement and signed.		
	Property A	Property B	Property C
Type of Real Estate (i.e., Primary Residence, Other Residence, Rental Property, Land, etc.)			
Address			
Date Purchased			
Original Cost			
Current Market Value			
Mortgage Holder			
Mortgage Balance			
Monthly Payment Amount			
Mortgage Status (current, delinquent, etc.)			

Schedule D: Accounts and Notes Receivable. Describe any accounts receivable including mortgages and land contracts. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

Schedule E: Life Insurance. Provide name of insurance company, face value, cash surrender value, and beneficiaries. Include information on any loans against policies.

Name of Company	Face Value	Cash Value	Loans	Beneficiaries
TOTALS				

Schedule F: Automobiles. Describe all automobiles, RV's, boats, motorcycles, etc. owned including year, make, model, and current value. If any are pledged as security, include name of lienholder, amount of lien, payment terms, and loan status.

Year	Make	Model	Value	Loans Payable		
				Lender Name	Monthly Payment	Balance Owed
TOTALS				TOTALS		

Schedule G: Unpaid Taxes. Describe in detail, as to type, to whom payable, when due, amount due, and to what property, if any, a tax lien attaches.

Schedule H: Other Assets. Describe all other assets including household items, personal goods, etc., not described elsewhere in this statement. If any is pledged as security, include name of lienholder, amount of lien, payment terms, etc.

Schedule I: Other Liabilities. Describe any other liabilities; include name of lienholder, amount of lien, payment terms, and loan status.

I/we have carefully read and submitted the foregoing information provided on all three pages of this statement to the Lender named above. The information is presented as a true and accurate statement of my/our financial condition on the date indicated. This statement is provided for the purpose of obtaining and maintaining credit with said Lender. I/we agree that if any material change(s) occur(s) in my/our financial condition that I/we will immediately notify said Lender of said change(s) and unless said Lender is so notified it may continue to rely upon this financial statement and the representations made herein as a true and accurate statement of my/our financial condition.

I/we authorize the Lender to verify the accuracy of the statements made herein and to determine my/our creditworthiness, including contacting any of the lenders, account holders, etc. described herein. I/we authorize and instruct any lender, person or consumer reporting agency to furnish to the Lender any information that it may have or obtain in response to such credit inquiries.

I/we also hereby certify that no payment requirements listed herein are delinquent or in default except as follows; if "NONE" so state.

--

I/we fully understand that it is a federal crime punishable by fine or imprisonment or both to knowingly make any false statements on this form, pursuant to 18 U.S.C. §§ 1001, 3571, and 1014.

Signature _____	Date _____
Printed Name _____	Social Security No. _____

Signature _____	Date _____
Printed Name _____	Social Security No. _____

Exhibit A



7407 O Street
Lincoln, NE 68510
Phone: (402) 475-2560

Date of Bid	Activity	Description
	Lot Acquisition	Included: N/A - Per owner
	All dirt work / Grading / Material & Labor	Material & labor: Per house plan
	Landscaping: Final grade & seeding	Material & labor:
	Foundation: Material & Labor	Material & labor: Per house plan
	Foundation Waterproof: Material & Labor	Material & labor: Per house plan
	Concrete Flatwork: Material & Labor	Material & labor: Per house plan
	Framing: Labor	Labor: Per house plan
	Lumber Package:	Material: Per house plan
	Roof: Material & Labor:	Material & labor: Per house plan
	Windows / Exterior Doors Package:	Material: Per house plan
	Plumbing: Materials & Labor	Material & labor: Per house plan & local code requirements
	HVAC: Material & Labor	Material & labor: Per house plan & local code requirements
	Electrical: Material & Labor	Material & labor: Per house plan & local code requirements
	Insulation: Material & Labor	Material & labor
	Drywall: Material & Labor	Drywall (install, mud, tape, texture, finish) main floor, material & labor
	Painting: Material & Labor	Material & labor: Per house plan
	Cabinets & Countertops: Material & labor	Material & labor: Per house plan
	Interior Door & Trim:	Material: Per house plan
	Trim & Door Install: Labor	Labor: Per house plan
	Flooring: Material & Labor	Material & labor: Per house plan
	Siding: Labor	Labor: Per house plan
	Siding: Material	Material: Per house plan
	Gutters: Material & Labor	Material & labor: Per house plan
	Deck & Railing: Material	Material: Per house plan & local code requirements
	Garage Overhead Door: Material & Labor	Material & labor: Per house plan
	General Carpentry: Deck & Misc.: Labor	Labor: Per house plan
	Waste Removal:	Site Cleanup
	Permits / Fees:	Per City Requirements
	Drawings:	New Ventures
	Miscellaneous:	As needed

GENERAL NOTES:

I. FOUNDATION & CONCRETE

- Provide 1/2" expansion joint material between all concrete slabs and existing concrete or masonry wall existing in exterior or unheated basement areas.
- Form /sooting 3/4" depth below finished grade.
- Place 1/2" diameter all joints under basins. 1/2" into poured concrete block or 2" into concrete. Space bolts at 6'-0" o.c. and within 12" of each corner and both sides of openings.
- Weatherstrip/Weatherstrips areas. Provide at least 2 openings or ventilation covered with corrosion resistant wire mesh not greater than 1/2" net ten than 1/16" in any direction.

- Flats, JMs, and Shoppers All plates or alls and stoppers with red on concrete or masonry that it is direct contact with the earth shall be pressure treated wood or foundation redwood.
- End of wood girders existing masonry or concrete walls shall be provided with a 1/2" air space on top, sides, and end unless approved wood or natural resistance to decay or treated wood is used.
- A repair barrier is NOT required within framed areas against masonry or poured concrete walls.
- All framing strip attached to a concrete basement wall shall be treated lumber.
- Insulation of basement masonry foundation walls is required all time of finish.
- Minimum red lead-bearing value is 2000 lbs per square foot.

II. CARPENTRY

- Unless otherwise noted, provide:
- Double header joists and dimension at all floor openings.
- Double 2 x 12 headers with 1/2" plywood between at all exterior door and window openings.
- Joists exceeding a nominal 2 x 8 dimensional lumber shall be supported laterally by solid blocking.
- floor construction 20% solid studs/2x12 or 2x12/2x12 6 Exposure 2 field gird with 400-01 adhesives and nailed.
- Roof sheathing to be 20% rated 2x12 Exposure 1, 5/8" thick.
- In all joist and rafter areas one water resistant gypsum board for walls and ceiling, and plywood underlayment flooring with exterior glue.
- All exterior walls and ceilings are to be covered with 1/2" gypsum board, tops, flaps, and end, (3 coats) Gypsum for wall and ceiling to be covered with 5/8" fire-rated gypsum board 1/2" on all others.
- Insulation applied along and between Wood joists, plates and columns shall have open a verifiable feeling and not be installed in concrete and shall be pressure treated wood, cedar, or redwood.

- The underside of a cantilever projecting above a garage door shall have the same fire protection as a garage ceiling, normally 5/8" inch type 1 gypsum sheathing.

- The headers above a garage shall run the full length of the wall.

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III. STAIRS & RAILS

- Steel stair and new steel may be constructed with a 7 3/8" maximum rise and a 10" maximum run, allow 4'-0" minimum headroom.
- Handrails 1 1/4" minimum to 2 1/2" maximum, not less than 36" nor more than 38" above the coping of the stairs.
- Handrails shall not be less than 36" in height. Intermediate rails not more than 5' o.c., including decks.
- 1 1/2" x 3 1/2" plates may be used as handrail on exterior stairs.
- For a landing at the front entry, each side of up to 7 1/2' inches is allowed. All other exterior doors can have a maximum of 5' clear to the door before a landing is required.
- A landing is required at the top of a ramp leading to a door. The maximum slope of a ramp is 1:8.

IV. ENERGY CONSIDERATIONS

- Unless otherwise noted, provide:
- Insulation minimum: Exterior walls - R20 (Cavity/Batt) - R40 (2x6 Floor - R20 (Joist); Windows - R20;
- 2.5-5 minimum rigid insulation at masonry foundation walls and slab on grade perimeter to 2'.
3. All walls between foundation and all joists.
4. Casing at all entry, sliding glass doors, entrance doors, and bathroom doors.
5. Vapor barrier - minimum rating of 10 perms in unenclosed ceilings.
6. All fire insulation materials - depth markers required every 200 sq. ft. facing the attic space.

V. HEATING/COOLING SYSTEMS

- Thermostat - capable of being setback.
- All ductwork must be insulated. Supply - R10 or better, Return in unconditioned attic and outside of the building - R4 or better. Return in unconditioned crawl space, garage or other space - R2 or better.
- All ductwork must have all joints sealed, gasketed or taped to prevent air leakage. Duct tape is NOT allowed.
- ALL duct and plumbing lines above an attached unheated garage shall be insulated with a minimum of R-30 insulation.
- Fire rated doors in 1-hour occupancy separation on the garage side, a 1 3/8" solid core door.
- Heating, A/C and Electric, as per local requirements.

VI. MISCELLANEOUS

- Initial Water Heater Check (wall shall be located in a clear space not less than 36" in width, not less than 24" in front of the water heater 18" from M.C. control) and allowing a 4" minimum clearance to both sides of tank to any tank, shower or vanity.

VI. MISCELLANEOUS (CONT.)

- All external fans to be vented to exterior of home.
- Engineering calculations of load for home loading may be required when submittal these plans for permit approval.
- Provide 2" x 2" x 4" with plywood header above all interior door openings unless otherwise noted.
- All wood framing, joists and combination air intakes for wood burning fireplace shall be equipped with dampers.
- See 2003 IBC (2003 IRC) for details, written dimension later procedures over noted dimensions.
- Sealer details:
- In new construction, water detection are required in each sleeping room AND on each level of the home.
- Some hallways may not need a detector if above conditions are met.
- Detector shall be interconnected so all will sound on alarm if one operates.
- All walls over 10'-0" in height must have firestop every 10'-0".
- Provide 1/2" drywall on a wall flap on one side of one open wall from on floor every 1000 square feet.
- All building joints and penetrations are to be sealed, gasketed or caulked.
- Firestop structures lower than 6 feet in a dwelling are to be protected on the inside by 5/8" Type X gypsum sheathing. A deck is considered part of the dwelling. Accessory buildings must be 6 feet from the deck or protected by system as noted above.
- Bathrooms must have minimum ceiling height of 6 feet 6 inches including in a tub or shower.
- Bathrooms with a sloped ceiling must have 6 feet 8 inches in front of a toilet or vanity.
- Porches, balconies, ramps, or raised floors of more than 20 inches above grade or floor below must have guards.
- Refrigerating units may require guards depending upon height of unit and location of nearby walking surfaces.
- Carbon monoxide detectors are required on each level including basement.



The Trade Center
6031 South 58th Street, Suite C
Lincoln, NE 68516
Phone: (402) 420-0088
Fax: (402) 420-0089
www.newventures.com

**NEW RESIDENCE PLANS FOR:
FALLS CITY (EDGE)
RANCH PLAN**

WATER HEATING

Electric - Minimum 30 gal - 3000
40 gal - 3500
50 gal - 3600
Gas - Minimum 30 gal - 3000
40 gal - 3400
50 gal - 3500

Gas traps are required on hot & cold inlet for system with vented vent.

Shower head - max 2.5 gallons/minute or less.

ALL HEADERS, ROOF TRUSSES, FLOOR TRUSSES ON 1-POSS

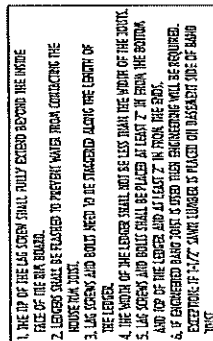
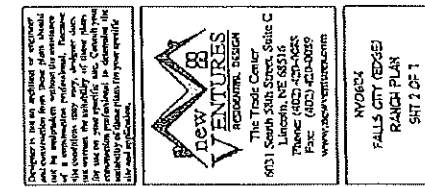
SIZED BY:

ALL STEEL BEAMS SIZED BY:

DISCLAIMER

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BUILDER MUST COMPLY WITH THE NEW STATE STATUTE FOR RADON RESISTANT CONSTRUCTION.

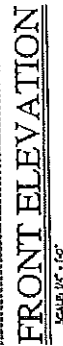


2. The "beginning" is concerned with remarks deleted in accordance with Section 310.2.

TYPICAL WOOD DECK DETAIL

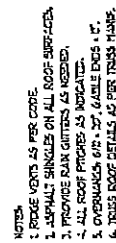
2000

© 2002 N.Y. L&E



WINDOW SCHEDULE *							
KEY NO.	SIZE	MANIF.	R.O.	GLASS SZ.	STYLE	HDR.	EXPRESS
① 2	3050A	ANDERSEN	6'0" x 5'0"	3'5 1/4" x 7'1 9/16"	SINGLE HANG	LVL.	YES
③ 1	3650	"	3'6" x 5'0"	2'4 1/4" x 7'1 9/16"	"	"	YES
④ 1	2636	"	2'6" x 5'6"	1'4 1/2" x 7'1 9/16"	"	"	NO
⑤ 2	4040	"	2'0" x 4'0"	1'1 9/16" x 3'5 1/8"	SINGLE	"	"

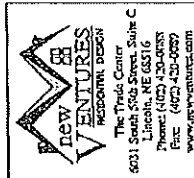
TO BE APPROVED BY CONTRACTOR PRIOR TO ORDERING



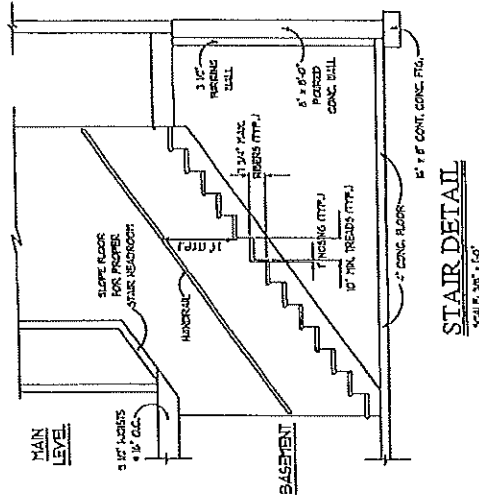
ROOF PLAN
SCALE: 1/8" = 1'-0"

Disasters is that no indicators of readiness and consequences from these plans should not be undertaken without the involvement of a functioning professional. Because the conditions may vary, disaster plans are essential for the availability of these plans for use in your specific job. Consider your own professional in determining the availability of these plans for your specific

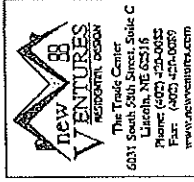
NV0674
 FALLS CITY (EDGE)
 RANCH PLAN
 SHT 2 OF 7



NOTE
ALLOW 6'-6" MIN.
STAIR HEADROOM



On the other hand, as we have seen, the use of the word "species" is not as uniform as we might think. It is used in many different ways, and it is often used in a way that is not strictly scientific. For example, it is often used to refer to a group of individuals that are similar in appearance, but it is not always clear what criteria are used to determine whether two individuals belong to the same species. This is a problem that has led to many different definitions of the word "species" over the years. Some scientists define it in terms of reproductive isolation, while others define it in terms of morphological similarity. There is no single, universally accepted definition, and this has led to a great deal of confusion and controversy in the field of systematics.



NV06224
FALLS CITY (EDGED)
RANCH PLAN
SHT 4 OF 7

FOUNDATION PLAN

SEAS, 48-100

FUTURE
FINISHED SSMT,
71 SQ.FT.

NOTE:
8'-0" FOUNDATION
WALL HEIGHT UNLESS
OTHERWISE SPECIFIED.

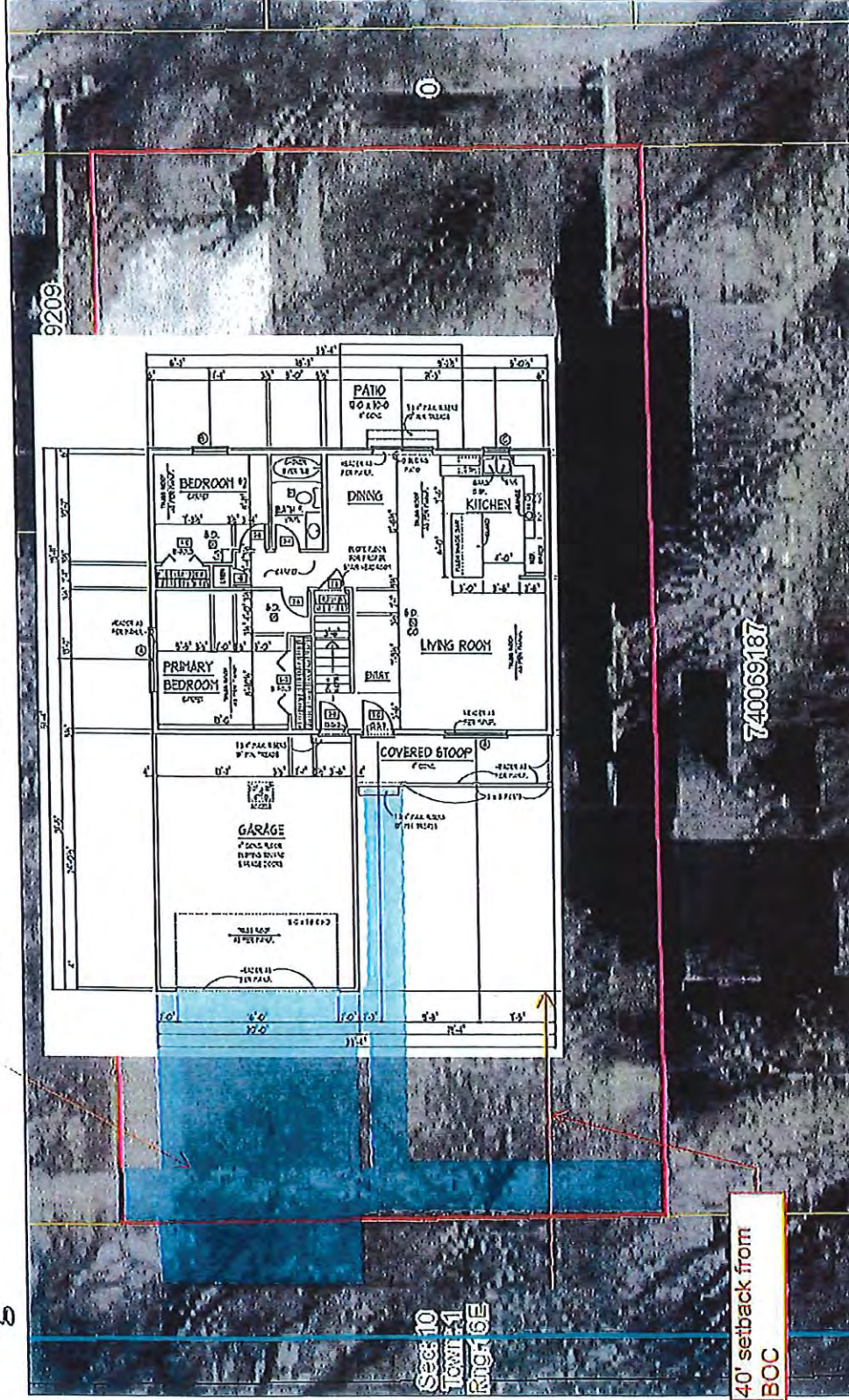
NY0624
FALLS CITY (EDGE)
RANCH PLAN
SHT 5 OF 7

NV0624
FALLS CITY (EDGE)
RANCH PLAN
SHT 7 OF 7

1612 Fulton

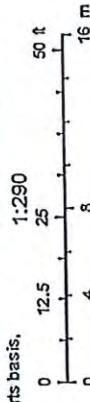
Lot Size = 75' x 120'

gWorks



May 9, 2024

1:290



— Road Centerlines

□ Parcels

Sections

Richardson County
gWorks

5/9/24, 11:36 AM

1612 Fulton St - Google Maps

Google Maps 1612 Fulton St



Image capture: May 2023 © 2024 Google

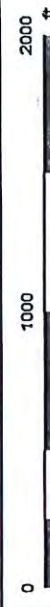


NEBRASKA Floodplain Management Interactive Map

DEPT. OF NATURAL RESOURCES



Nebraska Department of Natural Resources (NDNR) | Sources: Esri, U.S. Department of Commerce (DOC), National Oceanic and Atmospheric Administration (NOAA), National Ocean Service (NOS), National Geodetic Survey (NGS)



Date Printed: 8/19/2024

This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Legend

BFE Determinations
Valid BFE
Effective Paper Maps
Effective Flood Zone
Effective Paper Maps
1% Annual Chance
Regulatory Floodway
0.2% Annual Chance
Reduced Risk Due to Levee
Flood Hazard Zones
FIRM panels
Cross-Sections
Limit-Lines
Other Map Layers
Sections
Communities
NRDs

Notes

Attachment: Extended bios for key staff

Amanda Stutzman, SENDD Bookkeeper/Office Administrator: Amanda has worked with SENDD since November 2022, and has over ten years of experience working with business financials, administration, and HR management at both small businesses and larger corporations. Her resume is impressive, as it also highlights over three years of experience in leadership development and building training programs for successful employee onboarding and talent development. Prior to working at SENDD, Amanda led various department teams (up to 35 people) for six years. All of these experiences benefit SENDD and SENAHC, as Amanda works closely with the Board to curate SENAHC's financials. She will have a significant role in this proposed project, which she is well prepared for as she continues to complete training in online bookkeeping software and works closely with SENDD's Chief Financial Officer to create efficient internal accounting systems. Amanda has previously assisted with small business startup and development experiences, which sparked her interest in financial management.

Nichole Jones, Housing Specialist: Nichole was hired at SENDD in October 2022, and since has played a significant role in program administration and client information verifications for various housing programs. She works closely with clients and is often their first point of contact when reaching out for information about current and proposed programs. Her duties also include traveling to ongoing job sites to document and verify construction progress, as well as record keeping for all ongoing housing projects. Nichole is heavily involved in the overall operation of 1.8 million in the 2022 SENAHC RWHF. This has provided her valuable experience working large sum grant awards. Prior to her time at SENDD, Nichole earned more than ten years of job experience in administration and management with local law firms, which has helped her to specialize in developing strong client relationships, adaptability in her role, and exemplary organizational skills. All of these qualities will make her a tremendous asset to this proposed RWHF project.

Ashley Larsen, SENDD Housing Development Specialist: Ashley has worked with the organization since January 2019. Her primary duties include grant writing and administration, and she is also a CDBG-Certified Administrator. She has worked closely with the SENAHC Board throughout her time at SENDD, attending quarterly meetings and assisting with the implementation process of the \$1.24 million statewide Landlord Assistance Program (LAP). She holds certifications in Housing Quality Standards (HQS) Inspection and Residential Roofing Inspection and has also completed lead-based paint training for inspections and risk assessment. Ashley graduated from the University of Nebraska-Kearney with a Bachelor's in Geography and GIScience in 2016, and earned a Master's degree in Geography from the University of Nebraska-Lincoln in 2018. Through her educational experiences, she focused heavily on data analysis and writing, skills which have benefited her role at SENDD & SENAHC. Larson has several years' experience in managing large grant awards and will be a tremendous asset to the proposed program.

Jim Warrelmann, SENDD Director of Housing Services: Jim has over 30 years of experience in private and public-funded housing programs, which includes workforce housing, new construction, inspections, general contracting (residential & commercial), and housing development program management. He is also a CDBG Certified Administrator. During his time with SENAHC and SENDD, he has built strong relationships with several housing developers, regional home builders, and subcontractors. He has extensive experience working with the Nebraska Affordable Housing Trust Fund (NAHTF) resources, CDBG, and disaster recovery funding (NAHTF-DR), and will serve as the point of contact for this proposed program. Warrelmann will work closely with other SENDD staff on all reporting requirements. Currently, he oversees over \$3.5 million of housing projects over SENAHC's 17-county region and is heavily involved in managing the highly successful 2018 SEND, Inc. RWHF program, which has revolved over \$1.6 million several times. He also plays a critical role in managing the 2022 \$1.8 million SENAHC RWHF. Both programs have created numerous new housing opportunities throughout the region.

Terry Manson, Project Manager: Terry has 30+ years of construction management and building experience. Manson earned a Building Construction degree from Southeast Community College prior to working for several years with a local framing contractor. He combined his educational background with this hands-on experience and formed his own business, hiring a framing crew that operated in southeast Nebraska for over twenty years. His other construction credentials/experiences include overseeing the complete buildout of several residential homes and working at various lumber yards in both sales and construction supervisory positions. While operating his own business, Manson partnered with another home builder to construct 138 townhomes in Rock Springs, Wyoming.

Attachment: Extended bios for key staff

He simultaneously oversaw the successful buildout of five new homes in Gillette, Wyoming. After completing these jobs, Manson moved back to Nebraska and resumed self-employment for several years, focusing mainly on minor construction projects and handyman work. He has a strong construction management background and will be a tremendous asset to this proposed application.

Ryan Bauman, SENDD Housing Coordinator: Ryan grew up in Falls City, Nebraska, and is a recent graduate of Peru State College. Prior to his employment at SENDD, he was the Building Inspector for the City of Falls City. He holds a Class-A Construction License through the International Code Council (ICC) & the National Association of State Contractors Licensing Agencies (NASCLA). Ryan has also earned licenses and certifications in Lead Paint Inspection, Lead Paint Risk Assessment, and HCV Housing Quality Standards (HQS). He successfully completed the ICC B-1 Residential Building Inspector certification training as well as the Home Inspection Training offered by the Inspection Certification Associates (ICA). Bauman is well-rounded and educated in the construction industry. His distinguished performance record in project management is demonstrated through his experiences simultaneously managing up to twenty owner-occupied rehabilitation programs at SENDD. His experience, construction, and project management background, and overall eagerness to further his knowledge and skills will be a tremendous benefit to the proposed application.

Cole Hartgerink, SENDD Housing Specialist: Cole developed a keen interest in the construction and home remodeling industry while growing up in Milford, NE. He gained valuable hands-on experience working for a family-owned and operated renovation and rental property business, collaborating with local contractors or his family members to complete various projects and repairs. During his college years, Cole worked for a local private contractor and also started his own moving business, further expanding his knowledge and skills. After completing his BBA degree at UNL, he joined SENDD and worked on a range of purchase-rehab-resale (PRR), owner-occupied rehab (OOR), down-payment assistance (DPA), and SENDD Contracting projects, utilizing funding sources such as NAHTF, NAHTF-DR, and CDBG. Cole has gained significant experience in conducting various types of inspections, managing multiple projects, and earning certifications and licenses from USDA-RD 502 & 504 loan packaging, Housing Quality Standards (HQS) Inspection, and lead-based paint inspection and risk assessment through the State of Nebraska.

Brent Pendgraft, SENDD Housing Inspector: Brent is an integral part of all ongoing housing programs at SENDD, serving as one of the primary housing inspectors. He brings a unique blend of human relations and construction/inspection experience to the organization. Brent earned a Bachelor's degree in Sociology from Simpson College (2021), where he studied socio-economic factors that impact individuals and communities. After college, he entered the construction inspection industry, earning certifications as an Asbestos Inspector, Asbestos Supervisor, and in NIOSH 582E Microscopy (microscopic laboratory analytics). He is currently working to obtain additional certifications in Housing Quality Standards (HQS) and lead-based paint inspection. Prior to his work at SENDD, Brent was employed as a certified Asbestos Inspector and Housing Inspector. He will provide critical support to this proposed program as one of the primary construction inspectors throughout all projects.







